



5

Planning Commission Study Session

TO: PLANNING COMMISSION / DESIGN REVIEW BOARD

FROM: SYDNEY BETHEL, PLANNER II *SB*
(480) 503-6721, SYDNEY.BETHEL@GILBERTAZ.GOV

THROUGH: ASHLEE MACDONALD, AICP, PRINCIPAL PLANNER *AM*
(480) 503-6748, ASHLEE.MACDONALD@GILBERTAZ.GOV

MEETING DATE: OCTOBER 7, 2020

SUBJECT: DR20-107, MCDONALDS-QUEEN CREEK & KEY BISCAYNE

STRATEGIC INITIATIVE: Exceptional Built Environment

To allow for the development of a quick service restaurant to serve the local community.

REQUEST

DR20-107 MCDONALDS -QUEEN CREEK & KEY BISCAYNE: Site plan, landscaping, grading and drainage, elevations, floor plans, lighting, and colors and materials for approx. 1.25 acres, generally located at the southwest corner of Queen Creek Road and Key Biscayne Drive, and zoned Shopping Center (SC) with a Planned Area Development (PAD) overlay.

RECOMMENDED MOTION

Request for input only. No motion required.

APPLICANT

Company: Withey Morris PLC
Name: Jason Morris
Address: 2525 E. Arizona Biltmore Cir., Ste A-212
Phoenix, AZ 85016
Phone: (602)-230-0600
Email: jason@witheymorris.com

OWNER

Company: WNDG LLC
Name: Diversified Partners
Address: 7500 E. McDonald St., Ste 100A
Scottsdale, AZ 85250
Phone: (480) 313-8189
Email: kelly@dpcrc.com

BACKGROUND/DISCUSSION

History

Date	Description
<i>June 24, 2002</i>	Town Council approved Z00-28, San Tan Estates PAD, Ordinance No.1403.
<i>February 15, 2005</i>	Town Council approved Z04-19, a modification to San Tan Estates PAD, Ordinance No. 1629.
<i>March 24, 2011</i>	Town Council approved Z11-01, a modification to San Tan Estates, Ordinance No. 2321.
<i>June 3, 2015</i>	Planning Commission recommended approval of Z15-08 and approved UP15-07 for a congregate care facility subject to conditions and the approval of Z15-08.
<i>June 25, 2015</i>	Town Council approved Z15-08 DeRito Spectrum Planned Area Development, Ordinance No. 2542.
<i>March 24, 2016</i>	Town Council approved rezoning for Z15-24 Spectrum Care, Ordinance No. 2575.
<i>May 12, 2016</i>	Design Review Board approved DR16-03 Spectrum Care (The Enclave at Gilbert Senior Living), this approval included the master site plan and design guidelines for the center.
<i>September 22, 2016</i>	Staff administratively approved the Design Review for DR16-21 CST Store/Valero on the hard corner of Val Vista and Queen Creek.
<i>February 6, 2019</i>	Planning Commission approved DR18-186 Val Vista and Queen Creek Retail on the subject site and DR18-182 Val Vista & Queen Creek, Lot 3 on the western portion of the master site plan.
<i>April 3, 2019</i>	Planning Commission approved DR18-193 Superstar Car Wash, which included a new car wash and future commercial pad on the western portion of the master site plan.

Overview

The subject site is approximately 1.25 acres and is located at the southwest corner of Queen Creek Road and Key Biscayne Drive. The applicant is proposing a new stand-alone 4,391 sf McDonalds restaurant with a drive-through. The subject site also includes an additional 0.97 acres that will be developed at a later date and is not included in this submittal.

The site is part of an existing overall master site plan approved in 2016, lot 6 within the master site plan, which also includes design guidelines specific to the mixed-use center. The anchor of the center is the Enclave at Gilbert Senior Living which is located directly south of the subject site and finished construction in 2018. The greater site area has begun to develop rapidly within the last year with a Super Star Car Wash, Black Rock Coffee, and retail shops presently under construction and near completion. The subject site received an approval in 2019 for a restaurant/ retail building with a drive-through approved under DR18-186, Val Vista & Queen Creek Retail. This approval is valid until 2022.

Surrounding Land Use & Zoning Designations:

	Existing Land Use Classification	Existing Zoning	Existing Use
North	Residential >2-3.5 DU/Acre	Single Family-35 (SF-35)	Queen Creek Road then Vacant
South	Shopping Center (SC)	Shopping Center (SC) PAD	The Enclave at Gilbert Senior Living
East	Public Facilities/Institutional (PF/I)	Public Facilities/Institutional (PF/I)	Key Biscayne Dr. then Perry High School
West	Shopping Center (SC)	Shopping Center (SC) PAD	Vacant (previously approved CST/Valero)
Site	Shopping Center (SC)	Shopping Center (SC) PAD	Vacant

Project Data Table

Site Development Regulations	Required per LDC and Ordinance No.2575	Proposed (Lot 6)
Minimum Lot Area (sq. ft. per DU)	N/A	1.25 Acres
Building Area	210,000 sq. ft.	4,397 sf
Maximum Height (ft.)/Stories	35'/3 Stories	22'-6" / 1 Story
Minimum Building Setback (ft.)		
Front	to Queen Creek – 25'	25' applicable to Lots 5 & 6
Side (Street)	to Key Biscayne and Val Vista – 20'	20' applicable to all Lots
Rear (Residential)	to Chestnut (Val Vista to Vintage at Legend Ridge entrance) – 75'	75' applicable to Lots 1& 2 (internal setback Lot 6)
Separation Between Buildings (ft.)	1-story 15' 2-story 20' 3 -story 20'	1-story 15' 2-story 20' 3 -story 20'
Minimum Required Perimeter Landscape Area (ft.)		
Front	25'	25' applicable to Lots 5 & 6
Side (Street)	20'	20' applicable to all Lots
Rear (Residential)	35'	35' applicable to Lots 1& 2 (internal setback Lot 6)
Landscape Percentage (% of net lot area)	15%	25.5%
Off-Street Parking and Loading	SC Zoning: 1 Space/250 sf	31 Spaces Provided

	18 Spaces Required	
Bicycle Parking	Uses with less than 40 Vehicle Parking Spaces require min. 4 spaces	4 Spaces Provided

**Master Site Plan per Ordinance No.2575/Projects not subject to internal setbacks requirements, only perimeter setbacks*

DISCUSSION

The project is currently in second review and therefore additional comments, beyond what are included in this report, may be brought forward for discussion during the study session meeting.

Site

The applicant is proposing a new stand-alone 4,391 sf McDonalds restaurant with a drive-through, located on the western portion of the existing parcel. The remaining 0.97 acres of lot 6 will be developed at a later date and is not included in this submittal; the applicant has provided an exhibit of a possible future development scenario for the remaining portion of the parcel which includes a future drive-through restaurant with a similar layout to the proposed McDonalds.

The drive-through for the proposed McDonalds is located on the east side of the building and includes two (2) drive-through lanes that start on the south side of the building and merge into one (1) lane as they approach the payment window. Beyond the drive-through on the north side of the building, are two (2) waiting stalls that are intended for drive-through patrons that have orders that require additional time and are then serviced by an employee that walks out to hand-deliver their food. There are two (2) points of access proposed for the site. The first being off Queen Creek Road which allows access to a private drive on the west side and the second off Key Biscayne Drive on the east side of the site. The drive aisle for this access off Key Biscayne crosses the entire parcel and will be shared with the second future development. The private drives to the west and south of the site are existing and were completed with the Enclave at Gilbert Senior Living development.

In the first review the building was proposed to be a total of 5,332 sf; the building has now been reduced to 4,391 sf which allows the development to qualify for administrative approval. Per the applicant, due to the impacts of COVID-19 and the uncertainty of playplaces for the future, the playplace for this project has been removed reducing the overall building footprint. The playplace was located at the north portion of the building on the west elevation. The area is now proposed as landscaping which would allow for the future expansion of the building to allow for a playplace if desired in the future.

Landscaping

A total of 25.5 % of the net area is landscaped, which exceeds the required landscaping percentage for the site. The right-of-way streetscape was installed with the first phase of the master site plan and the proposed landscaping blends with the existing streetscape. There are two (2) different tree types proposed, they include: Sissoo and Heritage Live Oak. A diverse variety of shrub, accent, and ground cover plants have been proposed, they include: Torch Glow Bougainvillea, Brakelights Yucca, Purple Trailing Lantana, Desert Ruellia, and

Orange Jubilee Tecoma. The plants proposed are the same or similar to existing plants within the center. A combination of Live Oak and Desert Rullia has been applied on the southern border, providing additional screening to the residents in the adjacent congregate care facility.

Grading and Drainage

The on-site retention is proposed in the form of under-ground and above ground retention basins. The above ground basins are located on the southeast portion of the site in a proposed landscape area and on the remaining 0.97 acre parcel to the east. The proposed grading and drainage plan will generally meet the requirements of the Town of Gilbert's Engineering Division once all first review engineering comments are addressed.

Elevations, Colors and Materials

There is one (1) building proposed for the site that is approximately 22'-6" in height. Per the applicant, the proposed building architecture reflects the newest McDonalds BB20 prototype. The primary building material is stucco painted in a range of neutral desert tones which are all from the approved color/materials palette from the design guidelines for the center. The color Cargo Pants, a light tan color, has been utilized for the body of the building and Urban Bronze, a neutral grey, has been applied as an accent color.

Additional accent materials have been provided such as a cultured stone wainscoting around the perimeter base of the building and a metal vertical batten system in a simulated wood finish which has been vertically placed throughout the building exterior. The proposed cultured stone wainscoting can be seen throughout the center and the metal vertical batten system is a new material not seen yet in the center which will provide some architectural diversity while still complementing other materials within the center. The applicant has provided canopies over the pick-up and payment windows in the drive-through. These canopies are stucco and painted in Urban Bronze on the top portion with the columns wrapped in the cultured stone wainscoting in Eco Ridge. *Staff has requested that the columns for the canopies be increased in width to be more proportional with the top portion of the canopy.*

Lighting

There are two (2) lighting types proposed, parking lot and canopy. The on-site lighting for the subject site is also responsible for lighting half of the adjacent private internal streets within the greater site area. All site lighting will be required to comply with Town codes and the design guidelines for the center.

Signage

The subject site is part of an existing Comprehensive Sign Program for Val Vista and Queen Creek (DR17-102). The project will be required to comply with this existing CSP for all signage.

PUBLIC NOTIFICATION AND INPUT

The proposed project will not require public notice as specified under Land Development Code (LDC) Section 5.602.A.3.

If after Study Session, the project has addressed all review comments and those brought forth by the Planning Commission, the project may qualify for an administrative approval.

Per LDC Section 5.602.B.m., projects that do not require public notice yet require approval by the Planning Commission/Design Review Board may be approved administratively after the project is discussed by the Planning Commission/Design Review at a Study Session and final exhibits meet review comments for code requirements.

REQUESTED INPUT

1. General site design,
2. General elevations feedback; and
3. Approving the project administratively.

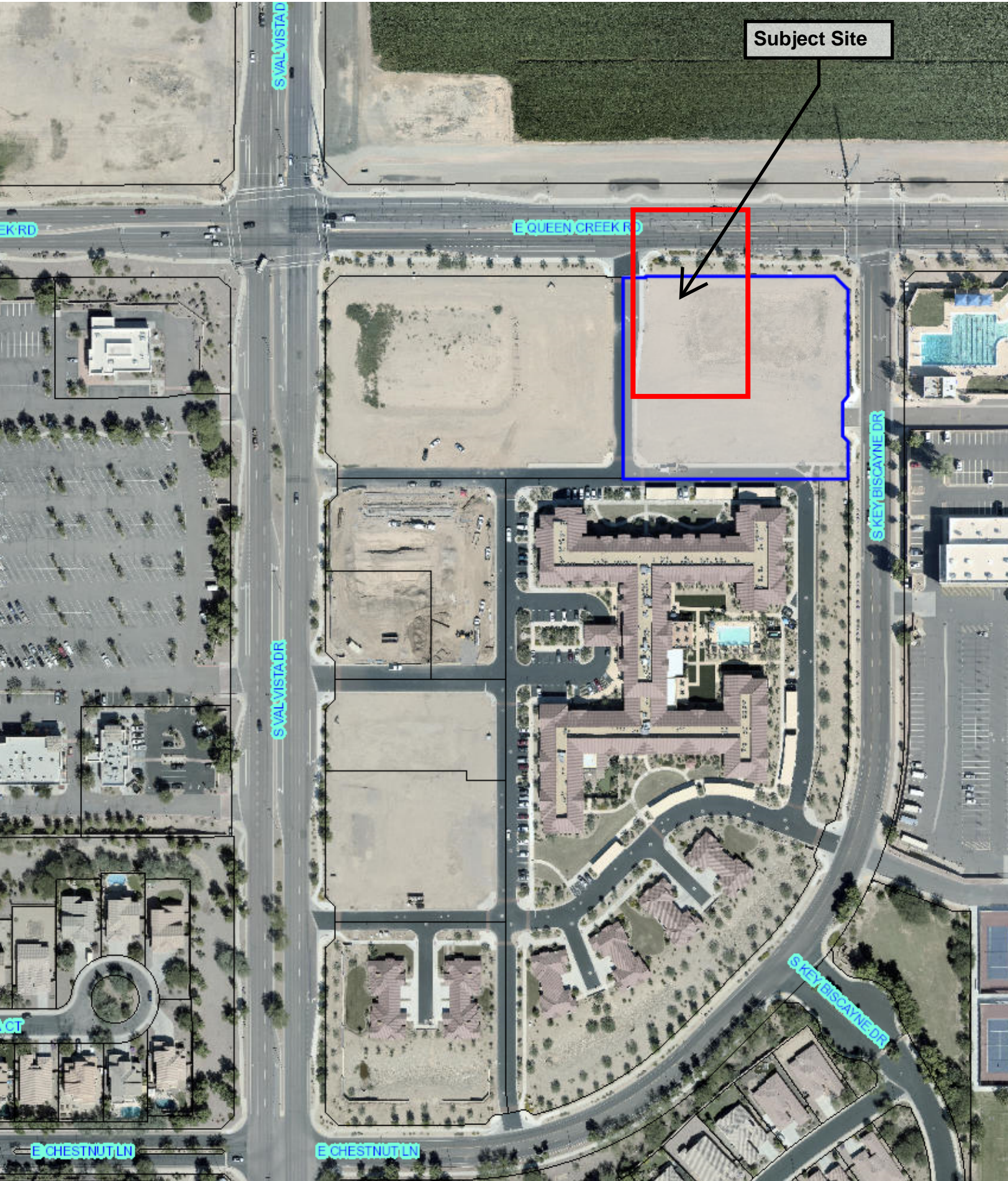
Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Sydney Bethel', written over a horizontal line.

Sydney Bethel
Planner II

Attachments and Enclosures:

- 1) Aerial Photo
- 2) Master Site Plan
- 3) Site Plan
- 4) Landscape
- 5) Grading and Drainage
- 6) Elevations
- 7) Colors and Materials
- 8) Floor Plans
- 9) Lighting
- 10) Applicant's Narrative
- 11) Pad Site Development Guidelines Val Vista & Queen Creek



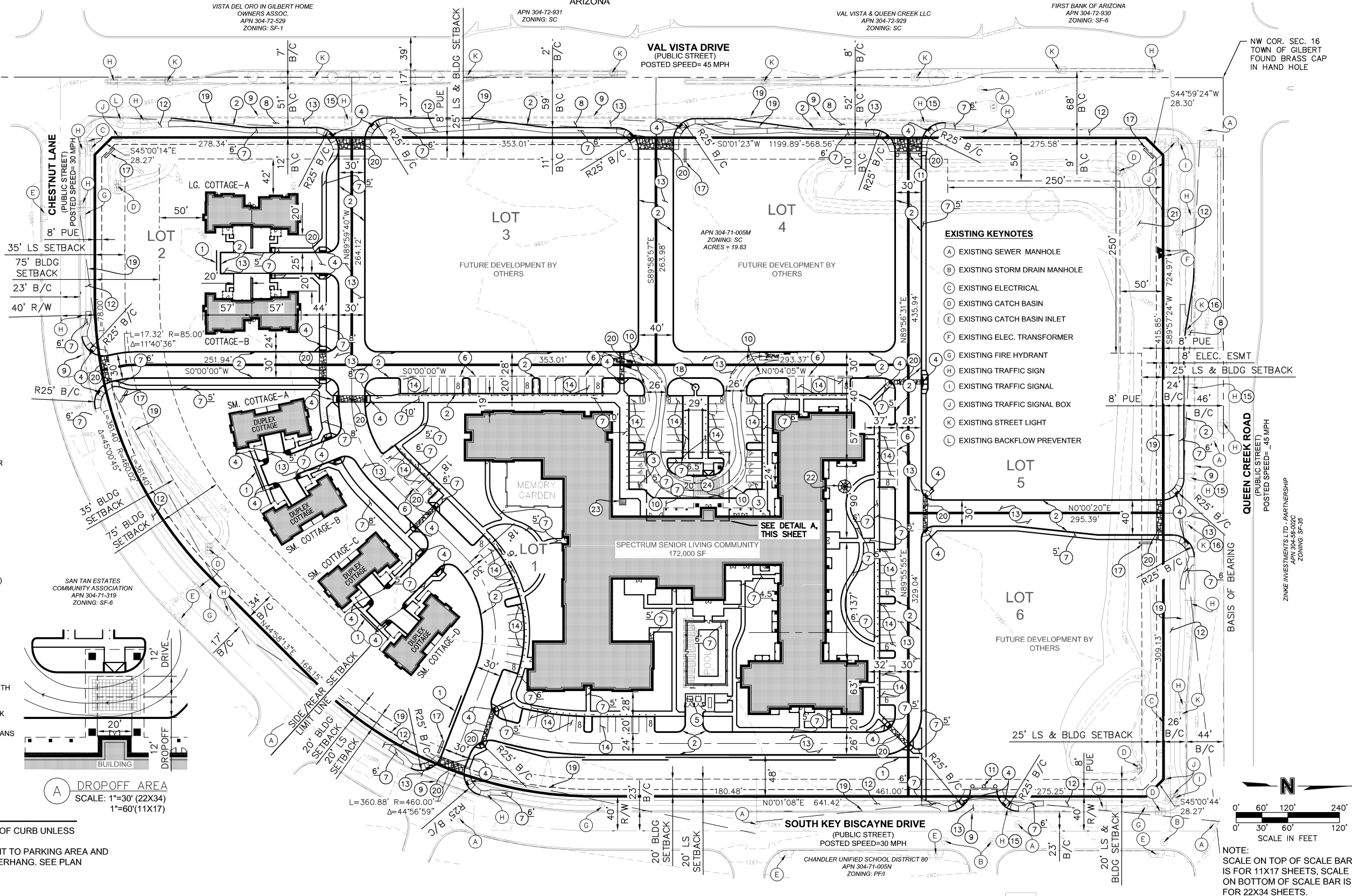
SITE PLAN
SPECTRUM SENIOR LIVING
ARTER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 6 EAST, OF THE GILA AND
SALT RIVER BASE AND MERIDIAN,
TOWN OF GILBERT, MARICOPA COUNTY,
ARIZONA

SITE PLAN KEYNOTES

- (1) PROP. SCREEN WALL
- (2) PROP. 6" CURB
- (3) PROP. ADA PARKING SPACES
- (4) PROP. CURB ACCESS RAMP
- (5) PROP. TRASH ENCLOSURE
- (6) PROP. COVERED PARKING
- (7) PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
- (8) PROP. DECEL LANE
- (9) REMOVE CURB, SAWCUT 2' PAVEMENT
- (10) PROP. FIRE LANE PATH
- (11) PROP. BARRICADE
- (12) EXIST. SIDEWALK TO REMAIN
- (13) PROP. PAVEMENT
- (14) PROP. PARKING (STALLS ARE 9' X 18' MIN) WITH 30" OVERHANG
- (15) RELOCATE EXIST. TRAFFIC SIGN
- (16) RELOCATE EXIST. LIGHT POLE
- (17) PROP. MONUMENT SIGN
- (18) PROP. FLAG POLE, SEE CIVIL DETAILS
- (19) PROP. VISIBILITY TRIANGLE
- (20) PROP. DECO PAVING PER TOG STD. DTL. GIL-250, ASHLAR SLATE. COORDINATE WITH ARCHITECT FOR COLOR
- (21) 50' X 250' ARTERIAL LANDSCAPE SETBACK
- (22) PROPOSED GAZEBO SEE LANDSCAPE PLANS FOR DETAILS.
- (23) PROPOSED BIKE RACK SEE LANDSCAPE PLANS FOR DETAILS.
- (24) PROP. FLUSH RIBBON CURB

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. MINIMUM 4' SIDEWALK ADJACENT TO PARKING AREA AND 30" TO ACCOMMODATE CAR OVERHANG. SEE PLAN DIMENSION FOR S/W WIDTH.

SIGN
STREET LIGHT
COVERED PARKING
SUBJECT PROPERTY BOUNDARY
SECTION LINE
MONUMENT LINE
PUBLIC RIGHT-OF-WAY (R/W)
EASEMENT LINE
MINOR CONTOUR
MAJOR CONTOUR
30" PARKING OVERHANG



SITE DATA: UP15-18 SPECTRUM DEVELOPMENT Z15-25

NET SITE AREA	(863,662 SQ. FT.) 19.83 AC
GROSS SITE AREA	(1,085,855 SQ. FT.) 24.93 AC
ZONING	(SC WITH PAD OVERLAY)
CONGREGATE CARE LAND AREA	(261,487 SQ. FT.) 6.00 ACRES

<u>BUILDING:</u>	
TOTAL BLDG S.F. (FLOORS 1-3)	172,000 SQ. FT.
TOTAL COTTAGE S.F.	20,064 SQ. FT.
MAXIMUM S.F.	210,000 SQ. FT.
<u>PARKING REQUIREMENTS:</u>	
TOTAL REQUIRED:	
.5 PKG SPACE/UNIT (190)	95 SPACES
TOTAL PARKING PROVIDED:	134 SPACES

DESIGN TEAM CONTACTS

OWNER/DEVELOPER	ENGINEER	ARCHITECT
SPECTRUM RETIREMENT COMMUNITIES, LLC	OLSSON ASSOCIATES	GASTINGER WALKER
200 SPRUCE STREET, SUITE 200	7250 NORTH 16TH STREET, SUITE 210	HARDEN+BEETRIPLETT BUCK
DENVER, CO 80230	PHOENIX, ARIZONA 85020	817 WYANDOTTE
PHONE: (303) 360-8812	PHONE: (602) 748-1000	KANSAS CITY, MO 64105
FAX: (303) 360-8814	FAX: (602) 748-1001	PHONE: (816) 569-0834
CONTACT: MIKE J. QUANCELOW	CONTACT: PIM VAN DER GIESSEN	CONTACT: LAURA SCOTT

WOLSSON[®]
ASSOCIATES



OLSSON ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

[illegible]

SPECTRUM SENIOR LIVING	
SEC VAL VISTA ROAD AND QUEEN CREEK ROAD	
GILBERT, ARIZONA	2016

drawn by: WC
checked by: PV
approved by: PV
QA/QC by: LS
project no.: 014-2396
drawing no.: C01-SITE_142396.dwg
date: 3/25/16

SHEET
C01

7250 North 16th Street, Suite 210
Phoenix, AZ 85020-5282
TEL 602.748.1000
FAX 602.748.1001
WWW.CESCONASSOCIATES.COM

REVISIONS

2016

GILBERT, ARIZONA

DWG: F:\Projects\014-2396\CMLD\Preliminary_Plans\Sheets\01-SITE_142396.dwg
 USER: thutclinswss
 DATE: Mar 29, 2018 10:46am XREFS: C:\BASE\42396 C:\BASE\42396 C:\ARCH\42396 C:\TBLK\142396

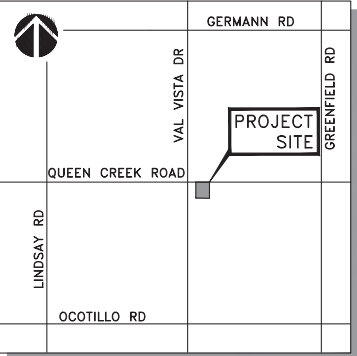
Call at least two full working days
before you begin excavation.

ARIZONA 811
Arizona Blue Stake, Inc.

Dial 8-1-1 or 1-800-STAKE-IT (782-5348)
In Maricopa County (602) 963-1400

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
1001 W SOUTHERN AVE. SUITE 131
MESA, ARIZONA 85210
TEL: (480) 207-2666
FAX: (602) 944-7423
CONTACT: STERLING MARGETTS, PE



VICINITY MAP

TOWN OF GILBERT
N.T.S.

STANDARD COMMERCIAL AND INDUSTRIAL SITE PLAN NOTES (TOG)

- ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
- ALL TRASH ENCLOSURES SHALL INCLUDE FULLY OPAQUE SCREENING GATES, FINISHED AND PAINTED TO MATCH THE ENCLOSURE. SCREENING GATES SHALL NOT OPEN INTO VEHICULAR DRIVE AISLES. TRASH ENCLOSURES ARE NOT REQUIRED IN INDUSTRIAL DISTRICTS IF LOCATED INSIDE AN ENCLOSED YARD WHICH IS SCREENED BY A PERIMETER WALL AT LEAST 6 FEET IN HEIGHT.
- ALL OUTDOOR STORAGE AREAS FOR STORAGE OF MATERIALS AND EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW BY A 8' SOLID MASONRY WALL. INDUSTRIAL STORAGE SCREEN WALLS SHALL BE FINISHED WHERE THEY ARE EXPOSED TO PUBLIC VIEW FROM STREETS OR ADJACENT NON-INDUSTRIAL USES. S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
A. FULLY RECESSING THE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
- THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION PLANS.
- ROOF-MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
- ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
- GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
- PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
B. ROUTED UNDER GROUND.
- ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CAGE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
- ALL FREESTANDING LIGHT POLES SHALL:
A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
C. BE LOCATED TO AVOID CONFLICT WITH TREES.
- SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
- LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTOURED. NO MORE THAN 50% OF THE REQUIRED (RIGHT-OF-WAY AND LANDSCAPING TRACTS) LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
- COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERIALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
- COMMERCIAL DEVELOPMENT VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WAYS SHALL INCLUDE SPECIAL PAVING TREATMENT SUCH AS INTEGRAL COLORED STAMPED CONCRETE, BOAMANITE, OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE SSUANCE OF A BUILDING PERMIT.
- CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
- ALL EXTERIOR METAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
- EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH COMPARABLE SPECIES AND SIZE.

SITE DATA

EXISTING ZONING: SC (PAD)
ADJACENT ZONING: SC, SF-35
A PORTION OF 304-75-978

NET ACREAGE: 1.25 ACRES (54,631 SF)
GROSS AC (TO STREET CL.): 1.55 ACRES (67,644 SF)
BUILDING AREA: 4,391 SF
LOT COVERAGE: 4,391 SF/54,631 SF = 8.04%
LANDSCAPE AREA: 13,945 SF
LANDSCAPE COVERAGE: 13,945 SF/54,631 SF = 25.53%

PARKING REQUIRED: 1 SPACE PER 250 SF
5,332/250 = 18 SPACES

INDIVIDUAL PARKING: REQUIRED 17 PROVIDED 29
STANDARD ACCESSIBLE PER ADA 1 2

TOTAL PARKING 18 31

BICYCLE PARKING REQUIRED: 1 SPACE PER 10 PARKING STALLS
31/10 = 4 SPACES

BICYCLE PARKING PROVIDED: 4 SPACES



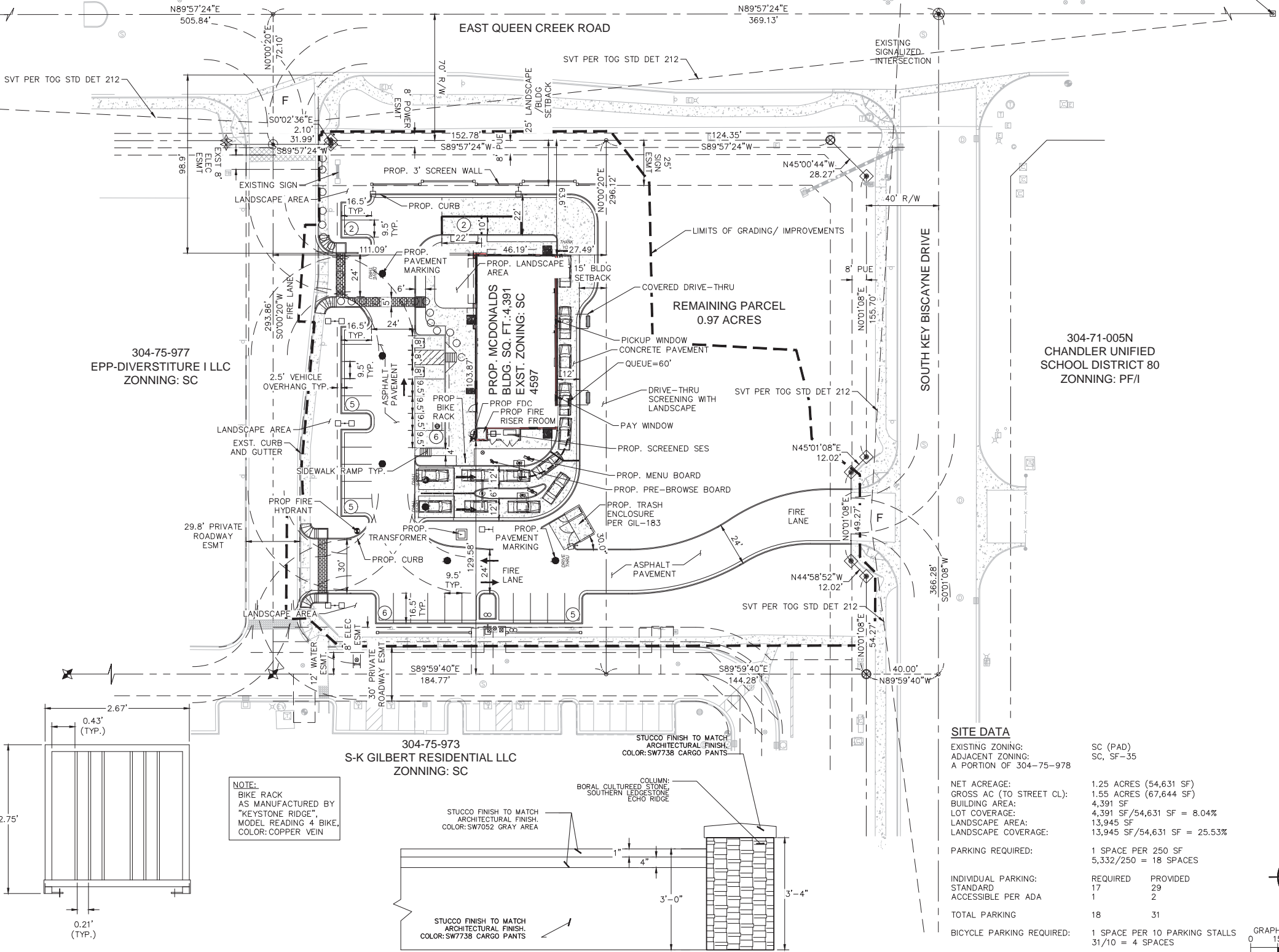
Know what's below.
Call before you dig.



LEGEND

- CONCRETE HARDSCAPE
- PROPERTY LINE
- BUILDING SETBACK LINE
- PARKING SPACE COUNT
- ADA PATH
- FIRE TURNING RADIUS

NORTHWEST CORNER
SEC. 16 T02S, R06E



BIKE RACK DETAIL (4 BIKE)

N.T.S.

SCREEN WALL ELEVATION

N.T.S.

Kimley»Horn



McDonald's USA, LLC

DRAWN BY: BMW
STD ISSUE DATE: 06/19/2020
REVIEWED BY: STM
DATE ISSUED: 05/19/2020
SCALE (H): 1"=30'
SCALE (V): NONE

TITLE	DESCRIPTION	SITE ID
SITE PLAN		
1	OF	1

CONCRETE HARDSCAPE

PROPERTY LINE

BUILDING SETBACK LINE

PARKING SPACE COUNT

O.H.E.

ADA PATH

ZINKE INVESTMENTS LTD PARTNERSHIP
ZONNING: SF-35


KIMLEY-HORN AND ASSOCIATES, INC.
1001 W SOUTHERN AVE. SUITE 131
MESA, ARIZONA 85210
TEL: (480) 207-2666
FAX: (602) 944-7423
CONTACT: STERLING MARGETTS, PE



TOWN OF GILBERT
N.T.S.

1. ALL UTILITY LINES LESS THAN 69 KV ON OR CONTIGUOUS TO THE SITE SHALL BE INSTALLED OR RELOCATED UNDERGROUND.
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4. S.E.S. PANELS AND ANY OTHER ABOVE GROUND UTILITY CABINET SHALL BE FULLY SCREENED FROM VIEW FROM STREETS OR FROM AREAS ACCESSIBLE TO CUSTOMERS AND THE GENERAL PUBLIC. SCREENING MAY BE ACCOMPLISHED BY ANY ONE OF THE FOLLOWING METHODS:
 - A. FULLY RECESSED RUE CABINET INTO THE BUILDING AND ENCLOSING IT BY A SOLID DOOR OR DOORS SEPARATE FROM THE CABINET;
 - B. SCREENING WITH A DECORATIVE MASONRY WALL OF THE SAME HEIGHT AS THE PANEL. THE SCREEN WALL MAY BE L-SHAPED, U-SHAPED OR A STRAIGHT WALL PARALLEL TO THE CABINET, DEPENDING ON THE LOCATION OF THE CABINET;
 - C. AN ALTERNATIVE SCREENING METHOD APPROVED BY THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF ANY PERMITS.
5. THE LOCATION OF ALL ELECTRICAL UTILITY EQUIPMENT SHALL BE IDENTIFIED ON THE CONSTRUCTION BLUE PRINTS.
6. ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED BY EITHER ONE OF THE FOLLOWING METHODS:
 - A. THE PARAPET WALL OF THE BUILDING SHALL EQUAL OR EXCEED THE HEIGHT OF THE MECHANICAL UNITS, OR;
 - B. BY LOCATING THE MECHANICAL EQUIPMENT BEHIND THE ROOF PLANES IN THE CASE OF MANSARD, HIP OR OTHER THAN FLAT ROOF.
7. ROOF MOUNTED MECHANICAL EQUIPMENT ENCLOSURES OR EQUIPMENT SCREEN WALLS SHALL NOT PROJECT ABOVE THE ROOF PARAPET. TO THE EXTENT PERMITTED BY LAW, SATELLITE DISHES SHALL BE FULLY SCREENED BY A PARAPET WALL.
9. GROUND MOUNTED MECHANICAL EQUIPMENT SHALL BE FULLY SCREENED FROM VIEW (FROM STREETS OR SURROUNDING COMMERCIAL USES) BY A COMBINATION OF DECORATIVE WALLS AND AN EVERGREEN VEGETATIVE HEDGE EQUAL TO OR EXCEEDING THE HEIGHT OF THE EQUIPMENT.
10. PNEUMATIC TUBES, WHETHER METAL OR PLASTIC, SHALL BE EITHER:
 - A. ENCLOSED IN PILASTERS, COLUMNS OR OTHER ARCHITECTURAL FEATURES OF THE CANOPY OR BUILDING, OR;
 - B. ROUTED UNDER GROUND.
11. ALL BACKFLOW PREVENTION DEVICES LARGER THAN 2" SHALL BE SCREENED WITH LANDSCAPE LOCATED WITHIN A 6' RADIUS OF THE DEVICE. ALL BACKFLOW PREVENTERS 2" OR SMALLER SHALL BE PLACED IN A LOCKED WIRE MESH CASE PAINTED TO MATCH THE PRIMARY BUILDING COLOR.
12. ALL FREESTANDING LIGHT POLES SHALL:
 - A. BE LOCATED WITHIN LANDSCAPED AREAS OR PLANTER ISLANDS.
 - B. HAVE CONCRETE BASES PAINTED TO MATCH THE PRIMARY BUILDING COLOR OR FINISHED TO MATCH PARKING SCREEN WALLS. CONCRETE BASES FOR LIGHT POLES SHALL NOT EXCEED A HEIGHT OF 30" FROM ADJACENT GRADE.
 - C. BE LOCATED TO AVOID CONFLICT WITH TREES.
13. SITE LIGHTING SHALL COMPLY WITH THE LIGHT AND GLARE CRITERIA SET FORTH IN SECTION 4.103 OF THE LDC, INCLUDING A MAXIMUM FREESTANDING LIGHT FIXTURE HEIGHT OF 25'.
14. LANDSCAPED AREAS ADJACENT TO PUBLIC RIGHT-OF-WAY SHALL BE MOUNDED AND NATURALLY CONTAINED. NO MORE THAN 50% OF THE REQUIRED RIGHT-OF-WAY SHALL BE LANDSCAPED. EXISTING LANDSCAPING FRONTING ADJACENT STREETS MAY BE USED FOR RETENTION. RETENTION AREA SIDE SLOPES SHALL BE VARIED, AND NO SLOPE SHALL EXCEED A 4:1 MAXIMUM.
15. COMMERCIAL BUILDING DOWNSPOUTS SHALL BE INTERNALIZED. INDUSTRIAL BUILDINGS MAY USE EXPOSED DOWNSPOUTS IF ARTICULATED WITH THE ARCHITECTURE OF THE BUILDING AND BUILT WITH A DURABLE MATERIAL SUCH AS STEEL.
16. COMMERCIAL DEVELOPMENTED VEHICULAR ACCESS POINTS AND PEDESTRIAN ACCESS WALLS SHALL INCLUDE SPECIAL PAINTED TREATMENT SUCH AS INTEGRAL COLORED TAMPED CONCRETE, BOARDSHIP OR SIMILAR ALTERNATIVE. LOCATION AND MATERIAL SHALL BE REVIEWED AND APPROVED BY THE PLANNING DEPARTMENT PRIOR TO THE ASSUANCE OF A BUILDING PERMIT.
17. CUSTOMER, EMPLOYEE AND VISITOR PARKING SHALL BE SCREENED FROM STREET VIEW BY LOW MASONRY WALLS. THE PARKING SCREEN WALLS SHALL BE FINISHED ON BOTH SIDES USING THE SAME MATERIALS AND COLORS, AND A DESIGN TO COMPLEMENT THAT OF THE MAIN BUILDING.
18. ALL EXTERIOR MATERIAL SHALL BE FINISHED OR PAINTED TO MATCH THE APPROVED PROJECT COLORS.
19. EXISTING ON-SITE PLANT MATERIAL DAMAGED DURING CONSTRUCTION SHALL BE REPLACED, WITH COMPARABLE SPECIES AND SIZE.

PREPARED BY: 

REPRODUCED FOR:  **McDonald's USA, LLC** ©

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DRAWN BY BMW	ISSUE DATE 19/2020	REVIEWED BY STM	DATE ISSUED 7/31/2020
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TITLE	DESCRIPTION
SITE PLAN WITH FUTURE CONCEPT	

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SITE ID

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N.T.S.

GRAPHIC SCALE IN FEET

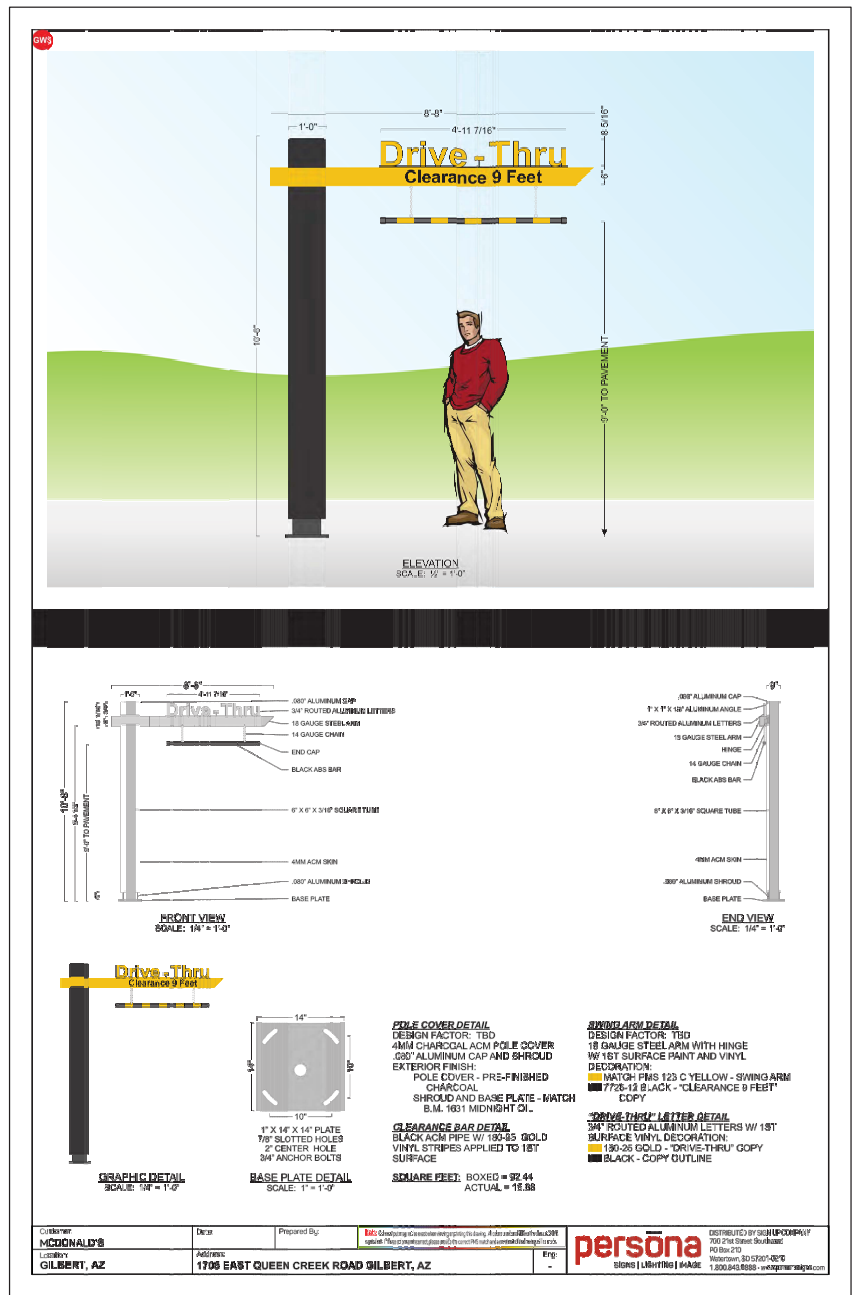
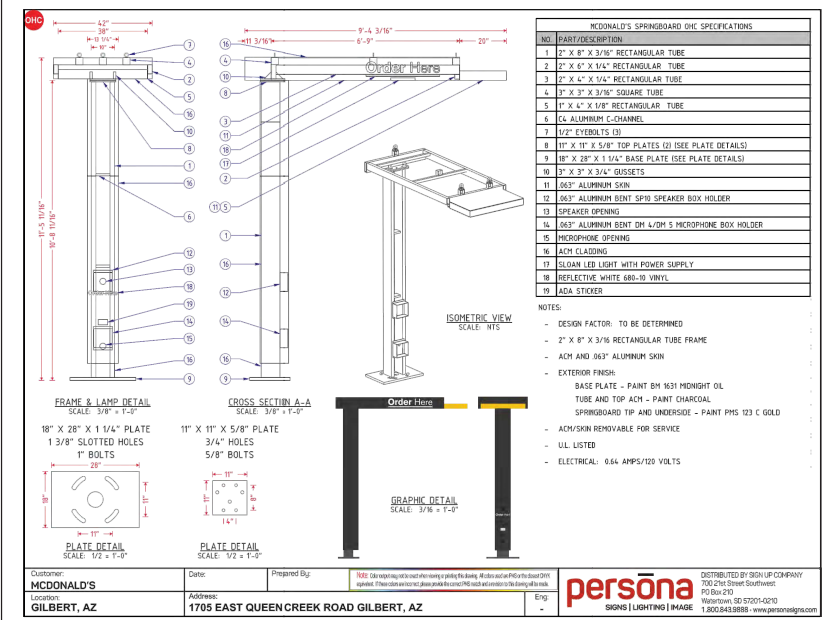
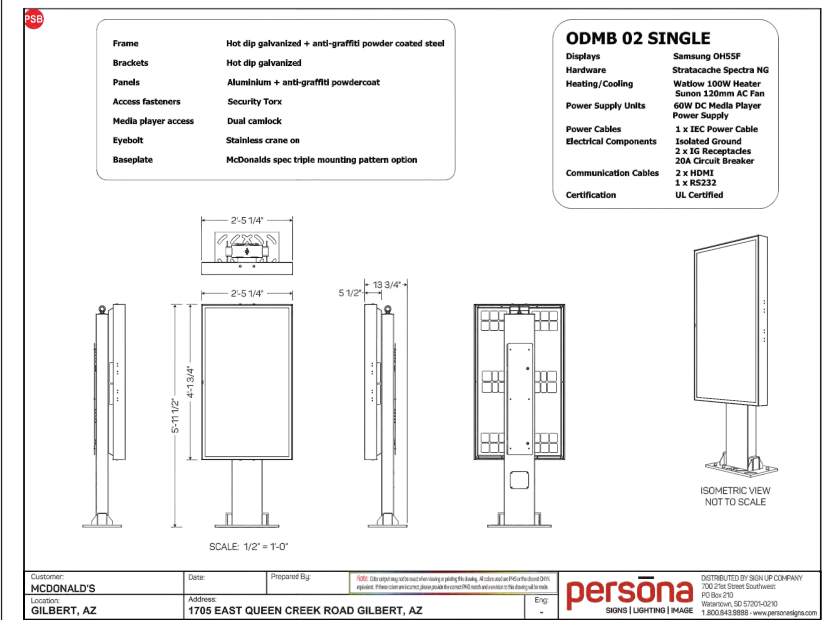
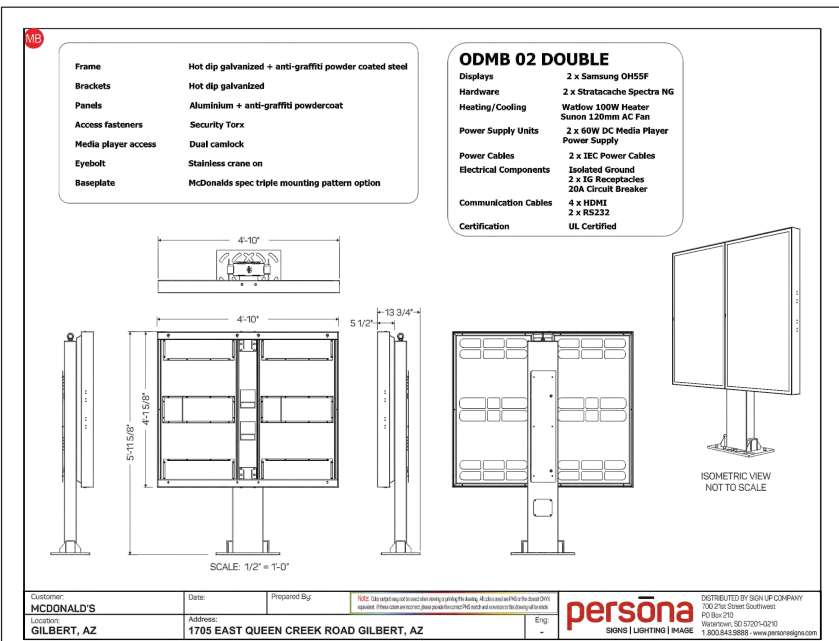
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REV	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Professional of Record:

PM DESIGN
Architectural Solutions Group

76 EAST MITCHELL RD
PHOENIX, AZ 85012
PHONE: (602) 457-5704
EMAIL: hmod@pmdgins.com

76 EAST MITCHELL DRIVE,
PHOENIX, AZ 85012
PHONE: (602) 457-5704
EMAIL: hmod@pmdgins.com

ROY PEDRO, ARCHITECT
KEN MCCracken, ARCHITECT

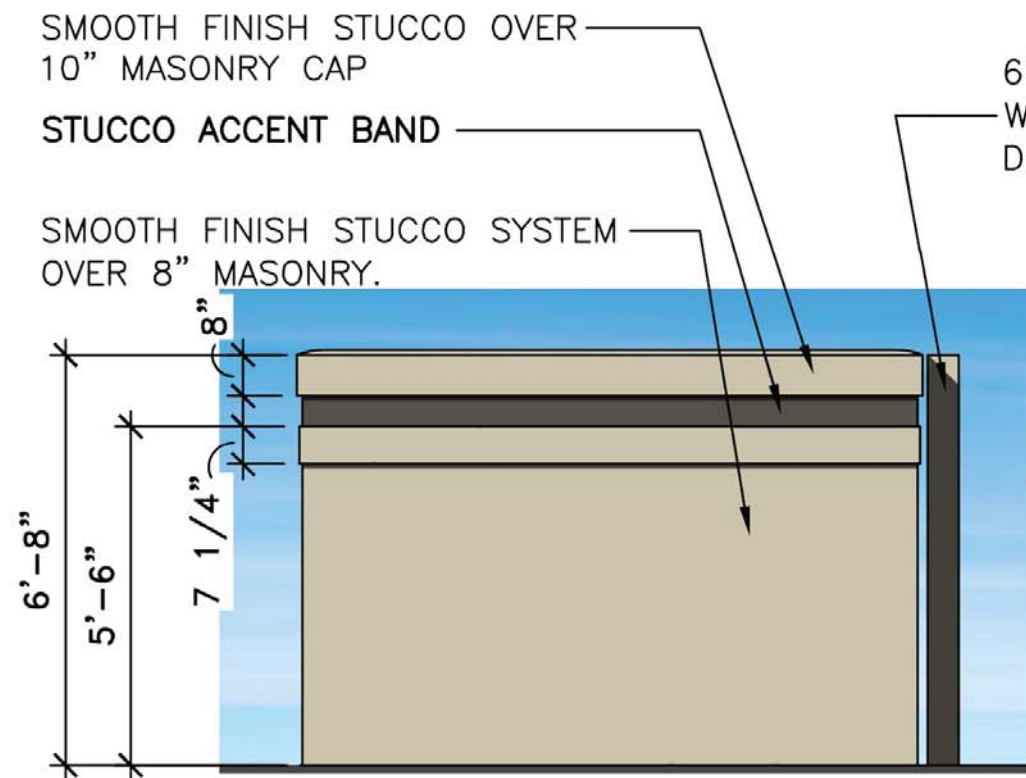
REGISTERED ARCHITECT
49197
HEMANT G. MODI
ARIZONA, U.S.A.

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McDonald's USA, LLC

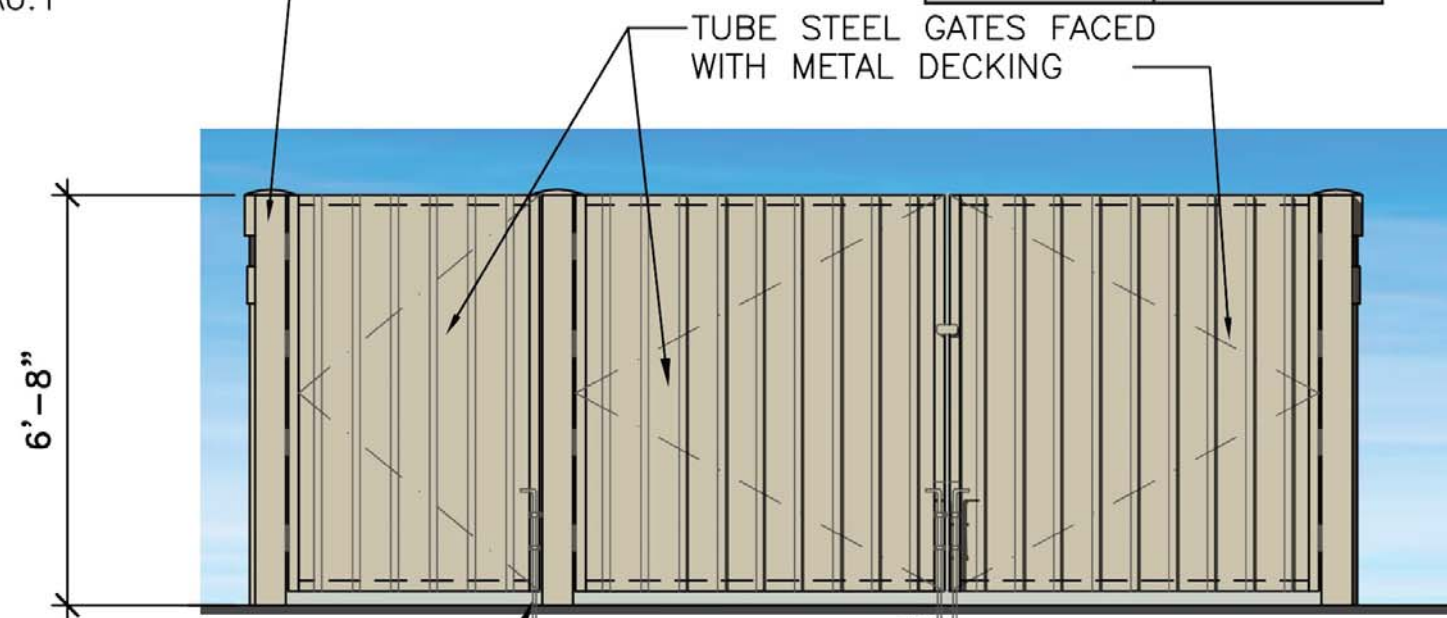
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TITLE	McDONALD'S #39618 SWC QUEEN CREEK RD. AND KEY BISCAVNE DR.
DRAWN BY	ACHELLNER
STD ISSUE DATE	
REVIEWED BY	TAXELROD
DATE ISSUED	06/02/2020
PROJECT #	002-1060
SITE ADDRESS	1705 East Queen Creek Road Gilbert AZ
SHEET NO.	A0.2
DRIVE-THRU CUTSHEETS	

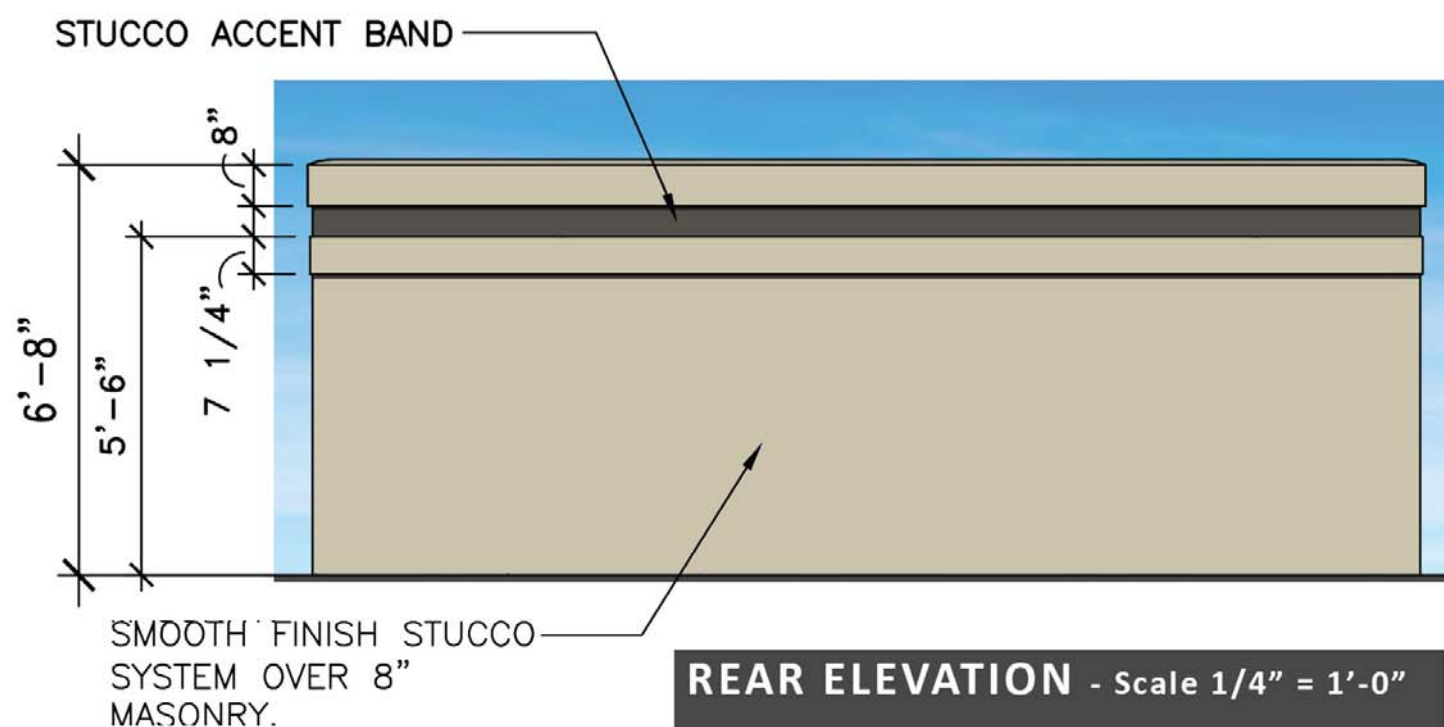


SIDE ELEVATION - Scale 1/4" = 1'-0"

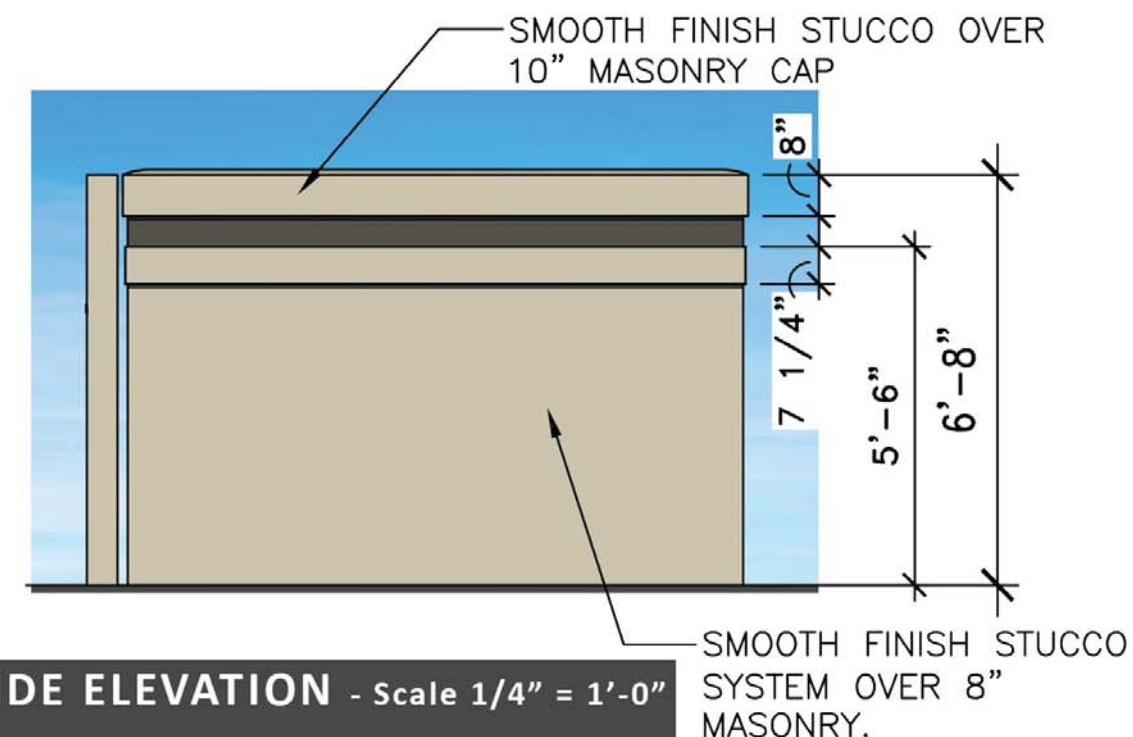
CANE BOLTS. DRILL CANE BOLT HOLES TO ALLOW GATES TO BE SWUNG OUT 90 DEGREES



FRONT ELEVATION - Scale 1/4" = 1'-0"



REAR ELEVATION - Scale 1/4" = 1'-0"



SIDE ELEVATION - Scale 1/4" = 1'-0"

Sherwin Williams Urbane Bronze sw7048	Sherwin Williams Cargo Pants sw7738

CIVIL ENGINEER

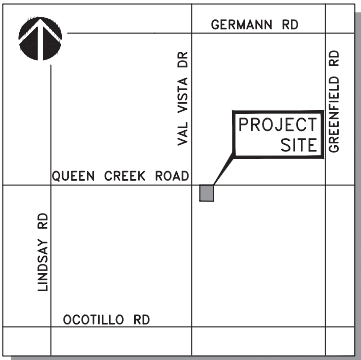
KIMLEY-HORN AND ASSOCIATES, INC.
1001 W SOUTHERN AVE. SUITE 131
MESA, ARIZONA 85210
TEL: (602) 944-7423
CONTACT: STERLING MARGETTS, PE
EMAIL: STERLING.MARGETTS@KIMLEY-HORN.COM

DEVELOPER

MCDONALD'S USA, LLC
4643 SOUTH ULSTER ST., SUITE 1300
DENVER, CO 80237
TEL: (480) 417-6764
CONTACT: SCOTT AUDSLEY
EMAIL: SCOTT.AUDSLEY@US.MCD.COM

LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC.
7740 N 16TH ST., SUITE 300
PHOENIX, AZ 85020
TEL: (602) 906-1103
CONTACT: ANDREW VALESTIN, PLA
EMAIL: ANDREW.VALESTIN@KIMLEY-HORN.COM



VICINITY MAP
TOWN OF GILBERT
N.T.S.

PLANTING LEGEND

TREES	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Existing Tree to Remain	Size Varies	12
	Protect in Place		
	Dahlbergia sissoo	2" Cal. Min., 9' Ht. Min.	13
	Sissoo		
	Quercus virginiana 'Heritage'	2" Cal. Min., 11' Ht. Min.	16
	Heritage Live Oak		

SHRUBS & GROUNDCOVERS	BOTANICAL NAME / COMMON NAME	SIZE	QTY
	Bougainvillea 'Torch Glow'	5 Gal.	21
	Torch Glow Bougainvillea		
	Hesperaloe parviflora 'Perpa'	1 Gal.	53
	Brakelights Yucca		
	Lantana montevidensis	1 Gal.	44
	Purple Trailing Lantana		
	Lantana x 'New Gold'	1 Gal.	89
	New Gold Lantana		
	Ruellia peninsularis	5 Gal.	76
	Desert Ruellia		
	Tecoma stans 'Orange Jubilee'	5 Gal.	34
	Orange Jubilee Tecoma		

MATERIALS	DESCRIPTION	QTY
	Decomposed Granite (Submit Sample to Owner for Approval)	13,945 SF
	Color and Size to Match Existing, 2" Depth Min.	

TOWN OF GILBERT LANDSCAPE REQUIREMENTS

REQUIRED	PROVIDED
Parking Lot Landscape Screening	
Wall or 3'-4' Evergreen	Existing to Remain
Vegetative Screen	Provided
Not Located within R.O.W	Provided
3'-6' Offset from Parking Area	Provided
Max. 24' ht. Vegetation in SVT	Provided
Parking Lot Landscape	
1 Tree / 8 Spaces (4 Trees)	10 Trees
Min. Trunk ht. 6', 2" Caliper	6' ht. Min., 2" Caliper
Min. 10% Landscape (2,104 SF)	48.0% (10,090 SF)
Max. 8 Spaces without Planter	Provided
Landscape Regulations	
All Trees Min. 6' ht.	Provided
Palm Trees Min. 5' ht.	N/A
All Trees Min. 3/4" Caliper	Provided
Trees Shall Be Planted Per	Details will be Provided with
ANA Standards	CD Submittal
Streetscape Requirements	
1 Tree / 25 LF, 3 Shrubs per Tree	9 Trees (6 Existing, 3 Proposed), 24 Shrubs
(155 LF = 7 Trees, 21 Shrubs)	
General Requirements	
All Landscape Areas Not Covered	
by Turf, or Hardscape Shall be	
Covered by Approved Inorganic	
Groundcover such as D.G. Depth of	
Coverage Shall be Indicated on LS Plan	
Groundcover 20% of Area Required	
Retention Basins Completely Landscaped	
Max. 4:1 Slope in Retention Basins	

SITE DATA

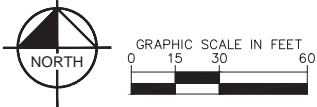
ADDRESS:	SWC OF QUEEN CREEK RD AND KEY BISCAINE DR. GILBERT, AZ
PROPOSED MCDONALDS LOT AREA:	1.25± AC (54,654 SF)
TOTAL LANDSCAPE AREA:	13,945 SF

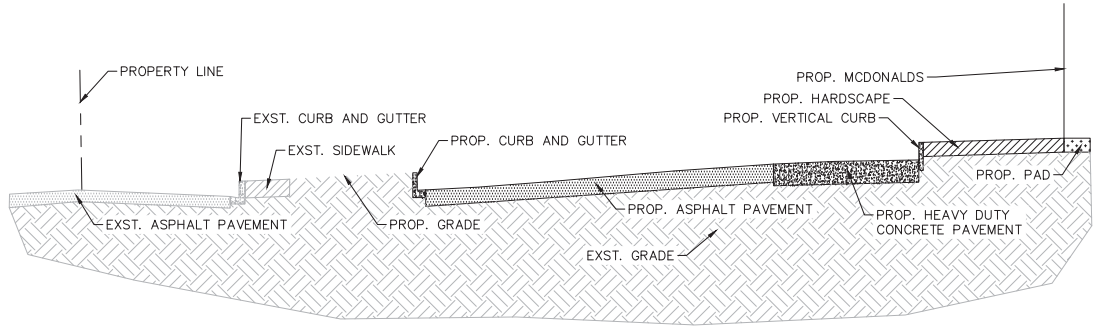


TITLE	DESCRIPTION	PREPARED BY	DATE	REV	DATE	BY
PRELIMINARY LANDSCAPE PLAN	PREPARED BY	McDonald's USA, LLC	09/2020			
DESCRIPTION	REVIEWED BY	AAV				
PRE-LS	DATE ISSUED					
SITE ID	SITE ADDRESS	SWC OF QUEEN CREEK RD AND KEY BISCAINE DR.	SCALE (H): 1"=30'	SCALE (V): NONE		
1	OF	1				

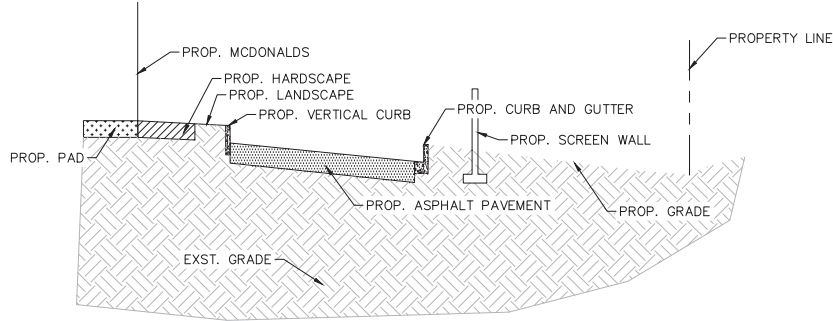
The vicinity map shows a grid of roads. The vertical roads from left to right are Lindsay Rd, Val Vista Dr, Germann Rd, and Greenfield Rd. The horizontal roads from top to bottom are Queen Creek Road and Ocotillo Rd. A callout box points to the intersection of Queen Creek Road and Val Vista Dr, labeled 'PROJECT SITE'. A north arrow is in the bottom right corner.

- ① INSTALL HDPE PIPE. LENGTH, SIZE, AND SLOPE PER PLAN. BEDDING AND BACKFILL PER MAG SPEC 601.
- ② CONNECT TO BUILDING DRAIN WITH AIR BREAK. INVERT PER PLAN REF ARCH PLANS FOR CONTINUATION.
- ③ CONSTRUCT CATCH BASIN TYPE 'E' PER MAG STD DET 534. RIM AND INVERT ELEVATIONS PER PLAN.
- ④ INSTALL HDPE TEE. SIZE TO MATCH ADJACENT PIPES. INVERT PER PLAN.
- ⑤ INSTALL HDPE BEND. SIZE PER ADJACENT PIPES, ANGLE, AND INVERT PER PLAN.
- ⑥ CONNECT TO UNDERGROUND RETENTION TANKS. INVERT PER PLAN.
- ⑦ INSTALL MAXWELL PLUS OR APPROVED EQUAL DUAL CHAMBER DRYWELL.
- ⑧ INSTALL 96" PIPE CMP ALUMINIZED TYPE 2 GAUGE 14 RETENTION TANK. INVERT PER PLAN.
- ⑨ INSTALL CONCRETE HEADWALL PER MAG STD DET 501.





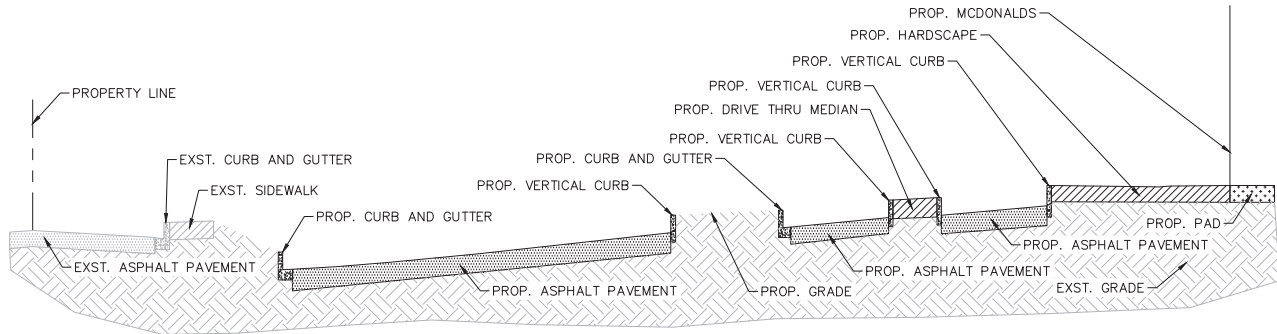
SECTION A
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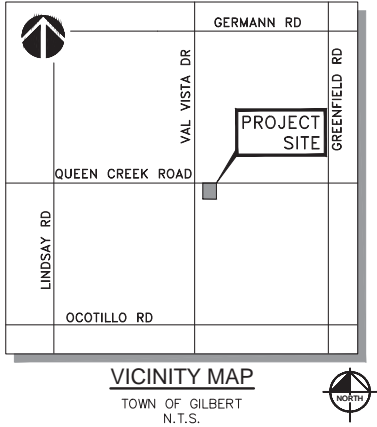
SECTION B
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SECTION C
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SECTION D
NTS



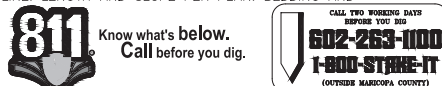
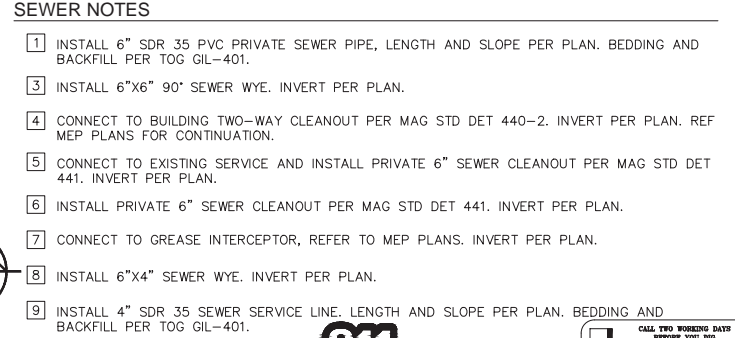
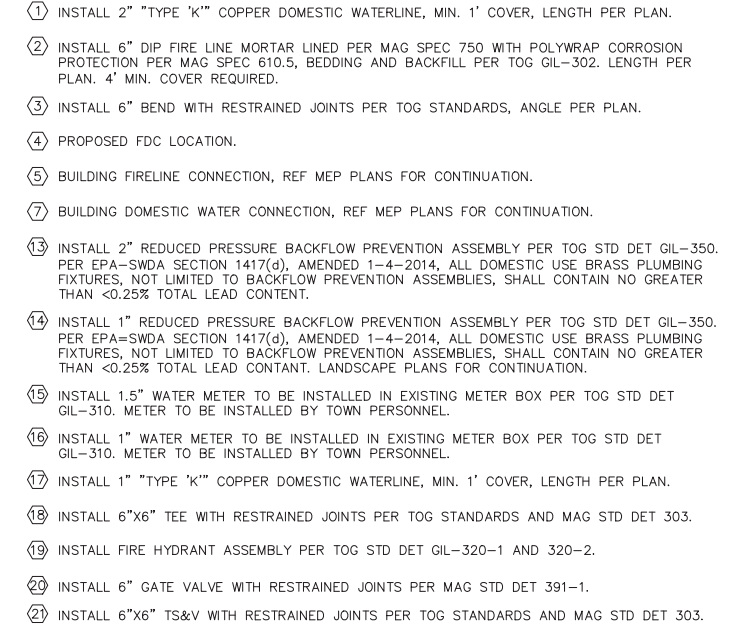
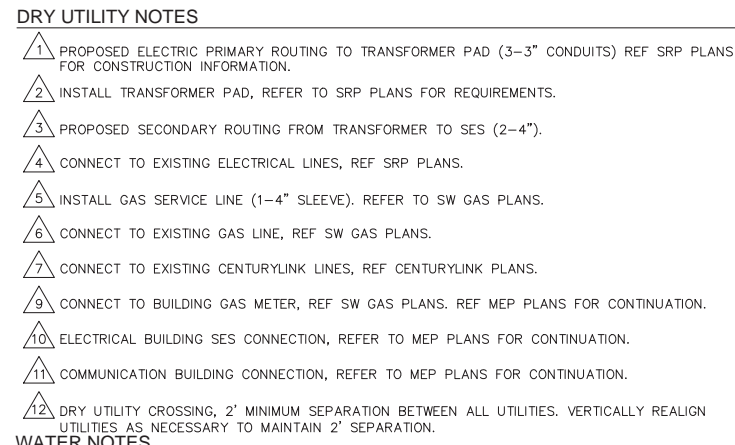
TITLE	DESCRIPTION	DATE	REV	DATE	BY
GRADING PLAN					
DESCRIPTION					
SITE ID	SITE ADDRESS SWC OF QUEEN CREEK RD AND KEY BISCANNE DR.				
SCALE (H): NONE	SCALE (V): NONE				
DRAWN BY BMW	STD ISSUE DATE 06/19/2020	REVIEWED BY STM	DATE ISSUED 06/19/2020		
<p>PREPARED FOR: McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared by a specific architect or engineer and are not to be used for any other project. These drawings are not to be used for reference or example on another project. Reproduction of these drawings for reference or example on another project is not authorized.</p>					
<p>PREPARED BY: Kimley»Horn</p> <p>REGISTERED PROFESSIONAL ENGINEER 47183 STERLING MARGGETTS ARIZONA, USA Expires 12/31/22</p>					





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1	UTILITY PLAN	DRAWN BY BMW	PREPARED FOR:  McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the project and site indicated and are not intended to be used for any other project. The drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference on another project requires the written approval of the engineer. The engineer does not warrant that the contract documents for reuse on another project is not authorized.	PREPARED BY:		REV	DATE	BY
		STD ISSUE DATE 06/19/2020	REVIEWED BY STM	DATE ISSUED 06/19/2020				
1	DESCRIPTION							
		SITE ID	SITE ADDRESS SWC OF QUEEN CREEK RD AND KEY BISCAYNE DR.					



FRONT ELEVATION (NORTH) SCALE 1/4" = 1' - 0"

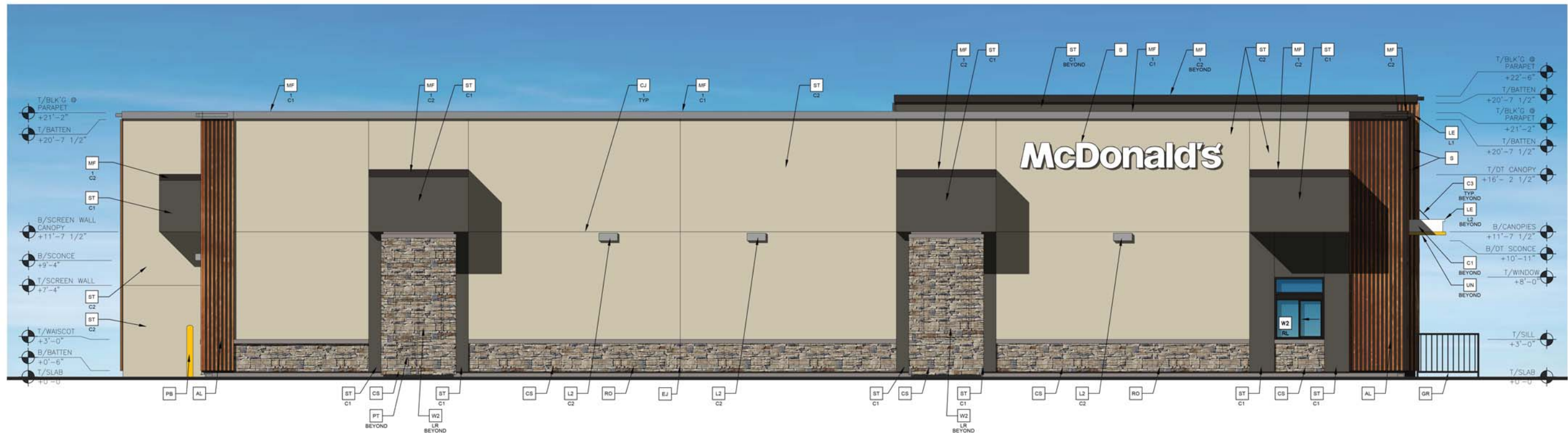
							
Sherwin Williams Urbane Bronze sw7048	Sherwin Williams Cargo Pants sw7738	White	Weathered Zinc & Platinum Silver	Gold	Ral 7022	Southern LedgeStone "echo ridge"	Aluminum Batten System Awnex - Wood Grain Substrate - Ral 7022



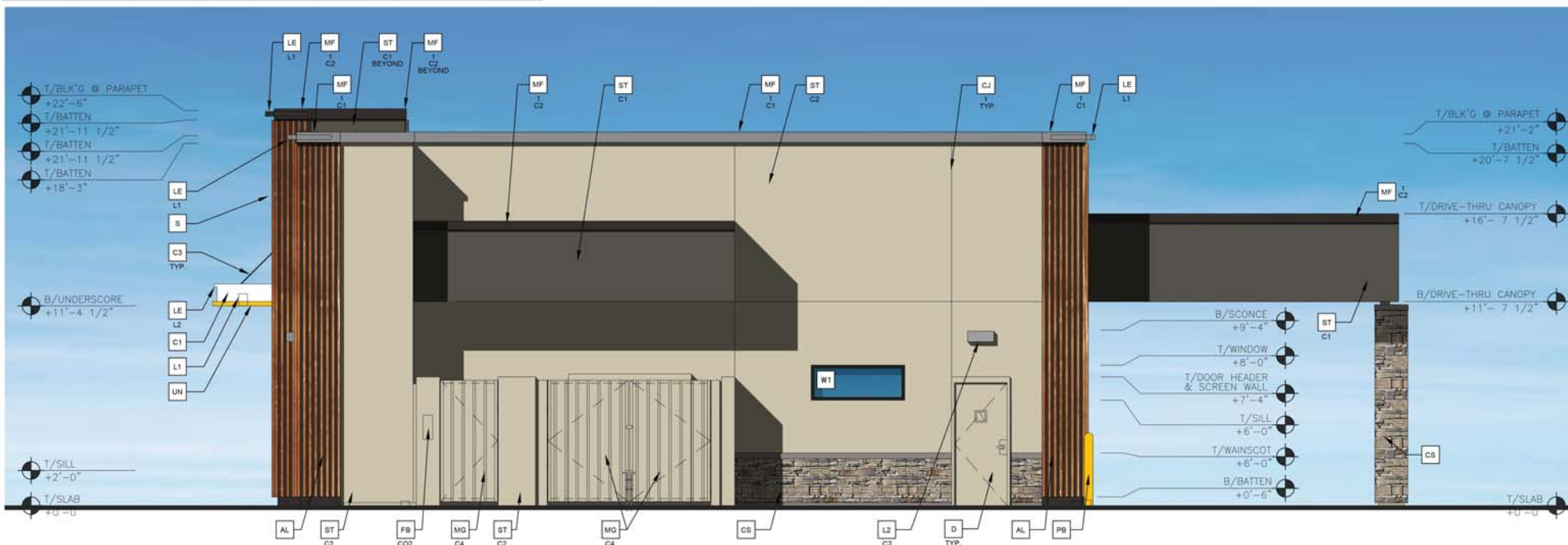
NON DRIVE THRU ELEVATION (WEST) SCALE 1/4" = 1' - 0"

KEY NOTES:

- | | | | | | |
|---|---|---|--|--|---|
| <p>AL ALUMINUM BATTEN SYSTEM
MFR: B+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: WOOD GRN, BACKRSL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1. HDO BOTH FACES, APA TRADEMARKED.
COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AND PAINT BOTH SIDES AND ALL EDGES.
SUBSTRATE COLOR: RAL 7022</p> | <p>C2 NOT USED</p> <p>C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS</p> <p>CJ CONTROL JOINT
1 -TYPE: 1 = EIFS</p> | <p>DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, onn.bowen@vomela.com
GTX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gtxl.com</p> <p>EJ EXPANSION JOINT</p> <p>FB FILL BOX
CO2 = BULK CO2 (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL (EQPM SCHEDULE ITEM 700.18)</p> <p>GR GUARD RAIL--SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: RAL 7022</p> <p>L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD</p> | <p>L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C8 -TYPE:
C1= WHITE
C2= PLATINUM SILVER</p> <p>LE ACCENT LIGHTING - SEE ELECTRICAL
L4 -LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE</p> <p>PB PIPE BOLLARD - PAINTED YELLOW</p> | <p>MF METAL FASCIA
1 -TYPE:
C1 = 1 = PRE-FAB ANCHOR-TITE FASCIA
2 = NOT USED
3 = NOT USED
COLOR:
C1= WEATHERED ZINC
C2= RAL 7022</p> <p>PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER</p> <p>RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL</p> <p>S NOT USED</p> | <p>ST STUCCO EXTERIOR FINISH
C8 -COLOR:
C1= "URBANE BRONZE" SW7048 BY SHERWIN WILLIAMS
C2= "CARGO PANTS" SW7738 BY SHERWIN WILLIAMS</p> <p>UN METAL UNDERSCORE
COLOR: GOLD</p> <p>W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE</p> <p>W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: LR = RIGHT TO LEFT
RL = LEFT TO RIGHT</p> |
| <p>AP NOT USED</p> <p>BR NOT USED</p> <p>C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE</p> | <p>CM NOT USED</p> <p>C6 CULTURED STONE
BORAL - SOUTHERN LEDGESTONE, COLOR: ECHO RIDGE</p> <p>D HOLLOW METAL DOOR
PAINT: "CARGO PANTS" SW7738 BY SHERWIN WILLIAMS</p> | | | | |



DRIVE THRU ELEVATION (SOUTH) SCALE 1/4" = 1' - 0"



REAR ELEVATION (SOUTH) SCALE 1/4" = 1' - 0"

Sherwin Williams Urbane Bronze sw7048	Sherwin Williams Cargo Pants sw7738	White	Weathered Zinc & Platinum Silver	Gold	Ral 7022	Southern LedgeStone "echo ridge"	Aluminum Batten System Awnex - Wood Grain Substrate - Ral 7022

KEY NOTES:

- AL ALUMINUM BATTEN SYSTEM
MFR: B+N INDUSTRIES
SIZE: 2"x2" PROFILE
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH
SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB,
GROUP 1, HDO BOTH FACES, APA TRADEMARKED,
COURSE GRIT SAND SURFACES PRIOR TO PRIMING, PRIME AND PAINT BOTH
SIDES AND ALL EDGES.
SUBSTRATE COLOR: RAL 7022
- AP NOT USED
- BR NOT USED
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA
COLOR: WHITE

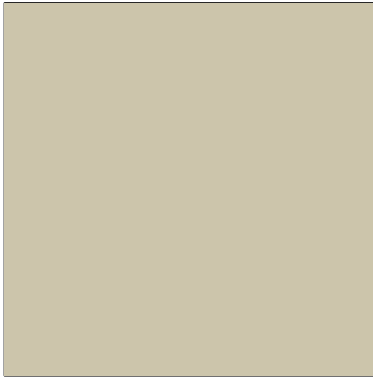
- C2 NOT USED
- C3 ALUMINUM CANOPY TIEBACK
COLOR: RAL 7022
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS
- CJ CONTROL JOINT
1-TYPE: 1 = EIFS
- CM NOT USED
- CS CULTURED STONE
BORAL - SOUTHERN LEDGESTONE, COLOR: ECHO RIDGE
- D HOLLOW METAL DOOR
PAINT: "CARGO PANTS" SW7738 BY SHERWIN WILLIAMS

- DE DECAL BY GRAPHICS SUPPLIER
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.
SUPPLIERS:
VOMELA (865) 330-7337, ann.bowen@vomela.com
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- EJ EXPANSION JOINT
- FB FILL BOX
CO2 = BULK CO2 (EQPM SCHEDULE ITEM 49.00)
BO = BULK OIL (EQPM SCHEDULE ITEM 700.18)
- GR GUARD RAIL - SEE SITE PLAN FOR EXACT LOCATION AND LENGTH
PAINT: RAL 7022
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL
COLOR: GOLD

- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL
C2-COLOR:
C1= WHITE
C2= PLATINUM SILVER
- LE ACCENT LIGHTING - SEE ELECTRICAL
L2-LED LIGHT:
L1 = SLIM LED (DOWN ONLY)
L2 = INTEGRAL CANOPY FIXTURE
- PB PIPE BOLLARD - PAINTED YELLOW

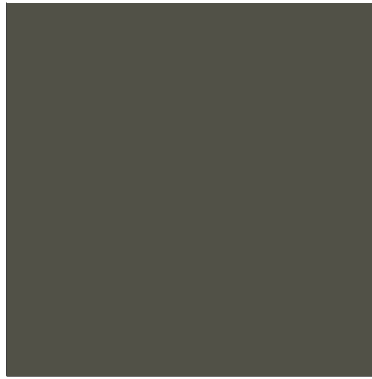
- MF METAL FASCIA
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = NOT USED
3 = NOT USED
C2-COLOR:
C1= WEATHERED ZINC
C2= RAL 7022
- PT (RMHC) COIN COLLECTOR
MODEL: #WPT STD
CALL 1-888-743-7435 TO ORDER
- RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S NOT USED

- ST STUCCO EXTERIOR FINISH
C2-COLOR:
C1= "URBANE BRONZE" SW7048 BY SHERWIN WILLIAMS
C2= "CARGO PANTS" SW7738 BY SHERWIN WILLIAMS
- UN METAL UNDERSCORE
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
OPEN, ELECTRONIC RELEASE
COLOR: DEEP BRONZE
SLIDE DIRECTION: RL = RIGHT TO LEFT
LR = LEFT TO RIGHT



'CARGO PANTS'
SHERWIN WILLIAMS PAINT - SW-7738

ST
C2



'URBANE BRONZE'
SHERWIN WILLIAMS PAINT - SW-7048

ST
C1



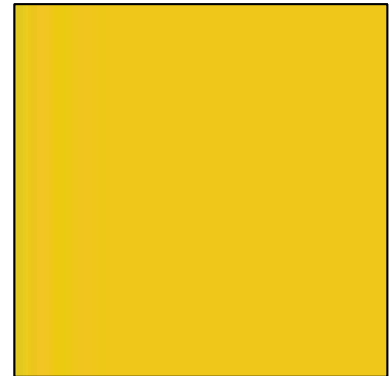
'WHITE'
(ALL-LITE ARCHITECTURAL PRODUCTS)

C1



'PLATINUM SILVER' & 'WEATHERED ZINC'
(ALL-LITE ARCHITECTURAL PRODUCTS)

MF L2
C1 C2



'GOLD'
(ALL-LITE ARCHITECTURAL PRODUCTS)

UN



'RAL-7022'
METAL FINISH

C3 MF
C2



FORTINA TA-647 'WOOD GRAIN'
2" X 2" ALUMINUM BATTEN SYSTEM
B+N INDUSTRIES

AL



'ECHO RIDGE'
SOUTHERN LEDGESTONE
BORAL CULTURED STONE

CS

McDonald's®

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REGISTERED IN THE U.S. PATENT AND TRADEMARK OFFICE.

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1705 EAST QUEEN CREEK RD. GILBERT, ARIZONA

09-18-2020

MATERIAL BOARD

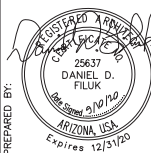
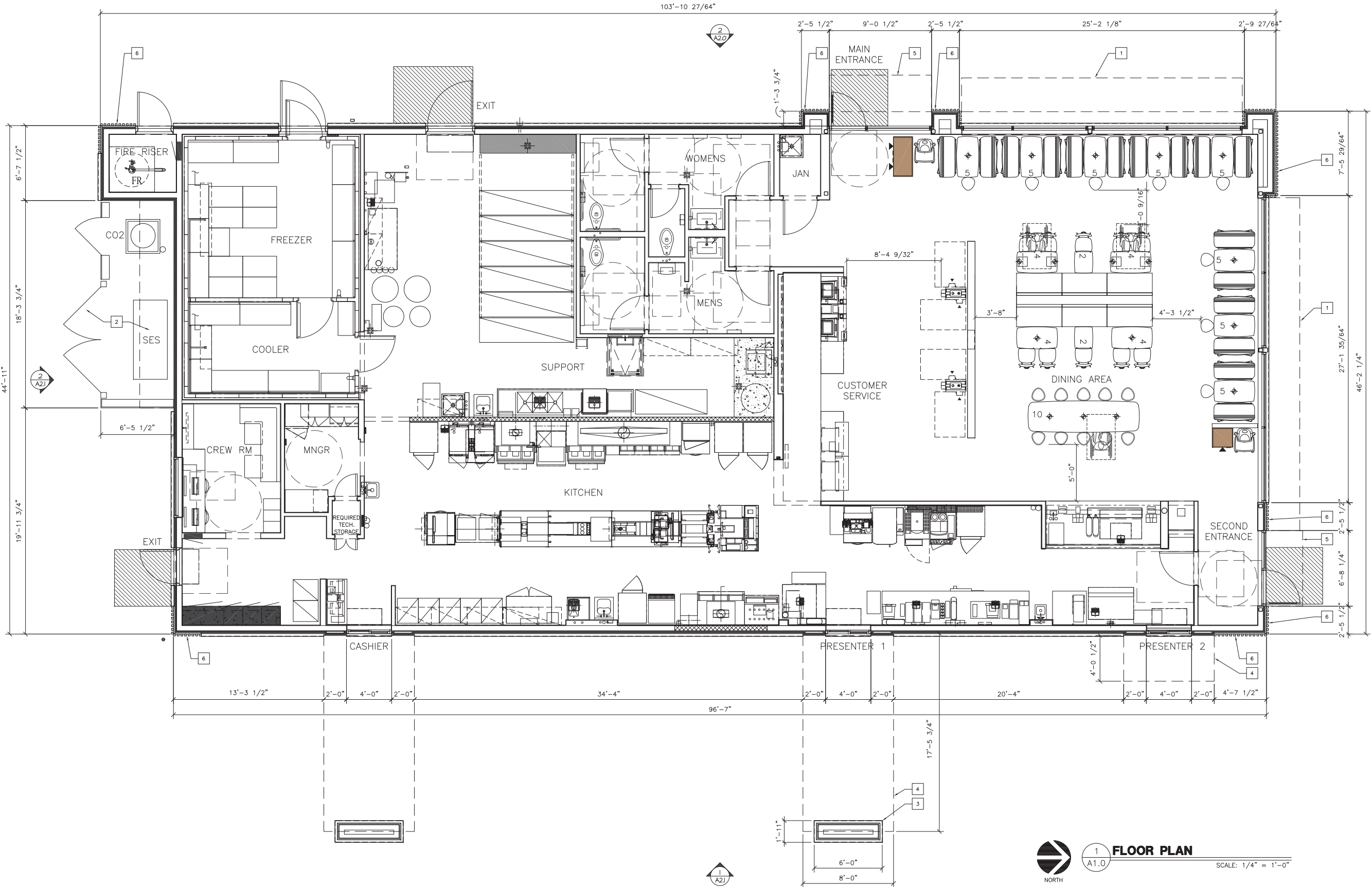


300 W. Clarendon Avenue
Suite 320
Phoenix, AZ 85013
O: 602.234.1868
F: 602.234.1413

DR20-107 McDonalds - Queen Creek & Key Biscayne
Attachment 8: Floor Plans

KEY NOTES

1. WHITE ALUMINUM AWNING SYSTEM ABOVE.
2. EQUIPMENT ENCLOSURE.
3. DRIVE-THRU CANOPY COLUMN TYP.
4. DRIVE-THRU CANOPY ABOVE TYP.
5. WHITE ALUMINUM AWNING SYSTEM WITH GOLD UNDERSCORE ABOVE.
6. VERTICAL BATTEN SYSTEM.



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TITLE	DRAWN BY		DATE
	-		-
SHEET NO.	STD. ISSUE		DATE
	1		09/18/20
DESCRIPTION	REVIEWED BY		DATE
	DF		09/18/20
SITE ID	DATE ISSUED		09/18/20
	002-1060		09/18/20
SITE ADDRESS		1705 E Queen Creek Rd, Mesa, AZ 85209	

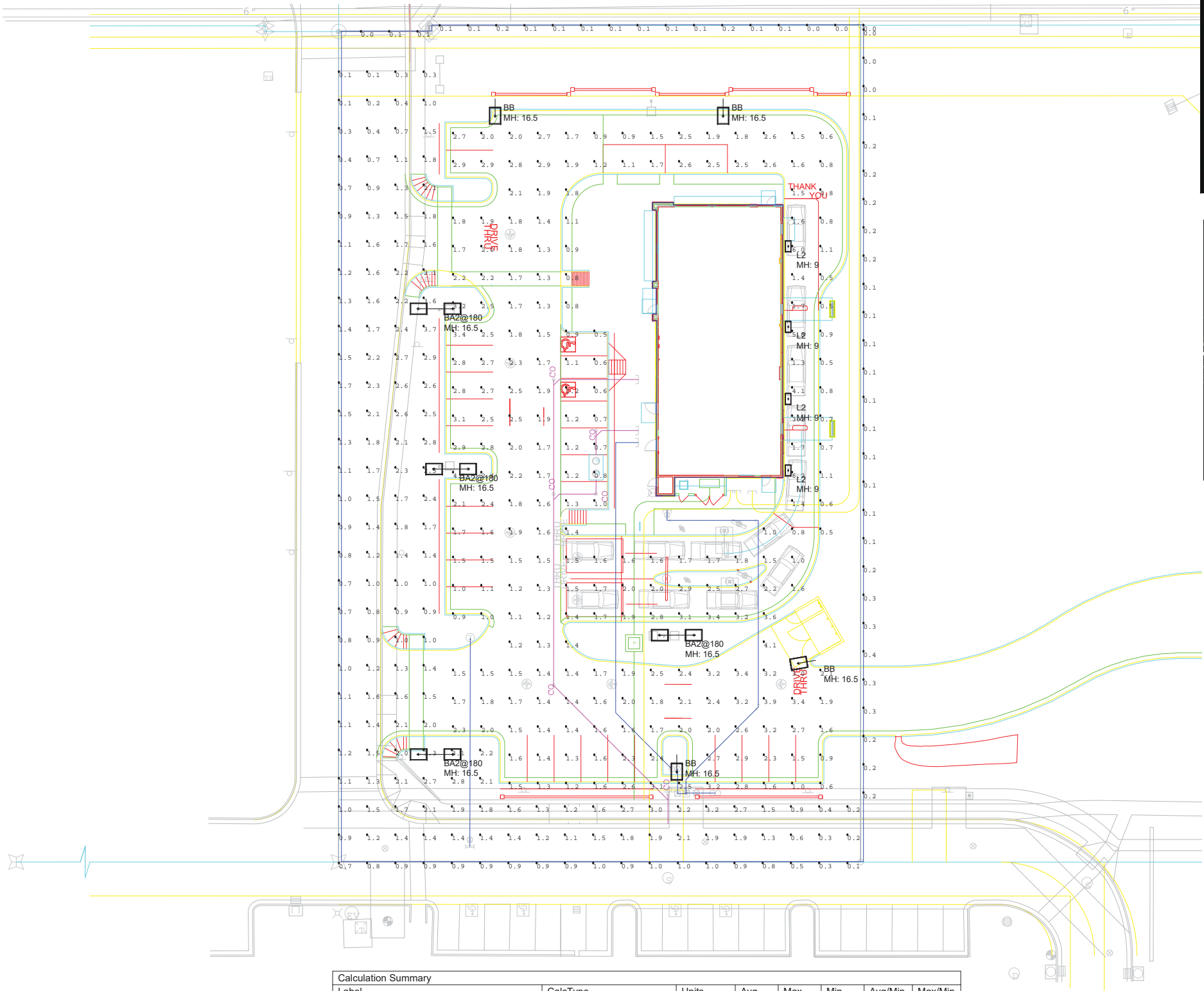
A1.0
FLOOR PLAN

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

2. DISTANCE BETWEEN READINGS 10'

DR20-107 McDonalds - Queen Creek & Key Biscayne
Attachment 9: Lighting



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	1.89	6.2	0.5	3.78	12.40
PROPERTY LINE READINGS	Illuminance	Fc	0.13	0.4	0.0	N.A.	N.A.
TO ROAD CENTER READINGS	Illuminance	Fc	1.44	3.7	0.1	14.40	37.00

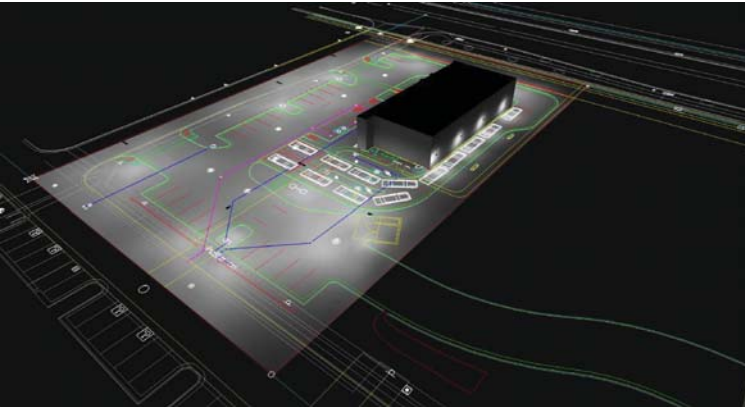
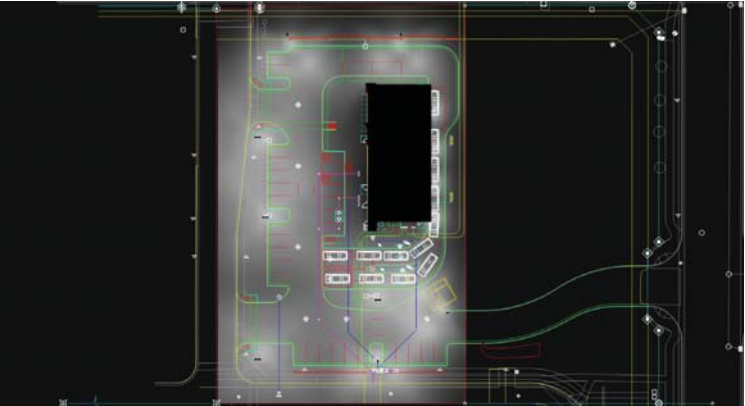
*** - SPECIFY COLOR

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height
	4	L2	SINGLE	0.900	RWSC-36L-5K-DO-U-WH	14.4		9
	4	BB	SINGLE	0.900	CL1-30L-4K-4	70	1.3	16.5
	4	BA2@180	BACK-BACK	0.900	CL1-30L-4K-5W-TWIN@180	70	2.6	16.5

* PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL

Allowed EPA 16.7 @
Wind Load 90MPH

THIS DRAWING MEETS OR EXCEEDS MCDONALDS CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.



2100 Gulf Road, Suite 400, Rolling Meadows, IL 60008
1-800-544-8888

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
SCALE 1"=20' 0"

DRAWN BY BV

POINT-BY-POINT FOOTCANDLE PLOT FOR
MCDONALDS
QUEEN CREEK RD & VAL VISTA DR
GILBERT, AZ

NATIONAL STORE NUMBER

DATE
9/22/2020

DRAWING NUMBER
SL2006013-Rev1.AGI

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AD. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

- Photometry
- Viper Brochure
- Dimensional Drawings
- ENERGENI
- SiteSync

1

1

1

McDONALD'S

DESIGN REVIEW NARRATIVE

SWC QUEEN CREEK RD & KEY BISCAYNE DR
GILBERT, ARIZONA

1st SUBMITTAL: AUGUST 3, 2020

2ND SUBMITTAL: SEPTEMBER 23, 2020

SUBMITTED BY: WITHEY MORRIS PLC

McDonald's Design Review Narrative

Request

This is a request for Design Review approval for a new 4,391 square foot McDonald's drive-thru restaurant (the "Project") to be located at the Enclave at Gilbert.

Location

The subject property consists of a 1.25-acre portion of vacant land located at the southwest corner Queen Creek road and Key Biscayne Drive, otherwise commonly known as Maricopa County Assessor's Parcel Number 304-75-978 (the "Property").

Adjacent Land Uses

- **North:** Queen Creek Road then Vacant Land Zoned SF-35
- **East:** Key Biscayne Road then Perry High School Zoned PF/I
- **South:** Enclave at Gilbert Senior Living Zoned SC (PAD)
- **West:** Vacant Land Zoned SC (PAD)

Zoning and General Plan Conformance

According to The Town of Gilbert Zoning Map, the Property is zoned as "Shopping Center (SC)". Additionally, the Property is subject to the DeRito Spectrum Planned Area Development "PAD", which was approved by the Town Council via Ordinance No. 2542 on June 25, 2015. It should be noted that "Retail Sales, Convenience" land uses—which is defined by the Land Development Code to include drive-throughs—are permitted by-right in the SC District.

The Town of Gilbert General Plan Land Use Map designates the Property as "Shopping Center (SC)". The Property is also located within the Santan Character Area (SCA). Commercial uses are encouraged at the Val Vista Drive / Queen Creek Road intersection by the SCA. Accordingly, the Project is consistent with the vision of the SCA, including SCA Policy 3.1, as it will provide a new convenient dining option to the area, as well as introduce new jobs to the area. Additionally, development of this long-time vacant infill parcel is consistent with General Plan Policy 5.7. Thus, as a commercial use, the Project is consistent with the vision of the General Plan.

[Left Intentionally Blank]

Building Architecture and Design

The proposed building architecture reflects the newest McDonalds BB20 prototype and will include a dining room and drive-thru. The new prototype standards introduce a variety of colors, elements and materials to address the need for four-sided architecture. By maintaining a flexible building palette, the building will be a compliment to the surrounding area.

Based upon the requirements of the established Design Guidelines for the larger Enclave at Gilbert Development (the "Development"), the building has been designed to resemble surroundings parcels at first glance through the use of matching architectural design elements and like materials/colors palette. To ensure consistency of the Project with its surroundings, the following elements will be incorporated to the building design:

- Inclusion of cultured stone wainscoting around the perimeter (base) of the building, of which the proposed stone has been selected from the approved Development color/materials palette. Stone wall accents have also been introduced into the building design to provide more interest and dimension, including on the drive-thru canopy supports.
- Incorporation of a stucco/EFIS finish system in order to better blend with the materials of the surrounding structures within the Development.
- The colors are from selections of the approved Development Guidelines. The colors, Cargo Pants (building body) and Urbane Bronze (building accent), have been selected in order to provide contrast between building elements and establish a simple visual vocabulary throughout the building.
- A fully covered drive-thru lane is provided at the cash and main presentation window in order to meet Town of Gilbert requirements.
- Metal vertical batten system (simulated wood) corner accents, which are a cornerstone element of the building architecture, which will complement the selected colors/materials and add interest and layering to help promote four-sided architecture. The vertical battens provide transparency equal to 50%.

Finally, the Project seeks to mitigate environmental impacts, including heat island effect, energy and water use by: utilizing low water use landscaping; retaining storm water on-site and disposing of via drywells; utilizing LED lights for low energy consumption; and, providing shaded walkways and parking islands to reduce heat island effect.

To summarize, the proposed design is consistent with the intended design intent already existing, and proposed, within the larger Development while still maintaining a sense of identity for the end-user.

[Left Intentionally Blank]

Conclusion

The proposed Project will create a new convenient dining option within the area, create jobs, and will activate an undeveloped, long time vacant parcel of land. The Project seeks to implement exceptional site development and architectural design criteria that will have a positive effect on the area.

Pad Site Development Guidelines Val Vist & Queen Creek April 25, 2016



APPROVED

Design Review Board

DR16-03

Case #

Date

5/12/16

Subject to Conditions of Approval

APPROVED

Design Review Board

DR16-03

Case #

Date

5/12/16

Subject to Conditions of Approval

Project Team



SPECTRUM
RETIREMENT COMMUNITIES, LLC

OLSSON®
ASSOCIATES

GastingerWalker&

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I. Project Overview

A. Architectural Design Review

1. General Scope: Prior to commencing any work, Applicant shall engage a Registered Architect and/or Registered Consulting Engineers to design and produce the necessary and applicable documents/drawings for review by the Master Developer before any submission to the Town of Gilbert (the "Town"). The Master Developer shall conduct a review of the Applicant's documents/drawings in 2 phases: preliminary design review and final construction document review.
 - a. Preliminary Design Review: Applicant must provide, at a minimum, electronic drawings of the following: civil site plan showing proposed improvements including topography, site amenities, buildings, utilities, site lighting, signage, drives, and parking; landscape plan showing proposed landscape; building floor plans and exterior elevations (4-sided architecture) and any proposed signage elevations; and proposed colors and materials. Include colored elevations and one main 3D view. Reviews shall be complete within 15 days of confirmation of receipt of Applicant's documents/drawings by the Master Developer. Submit prior to closing on the land.
 - b. Construction Document Review: Provide an electronic copy of the construction document(s) set including all consultant drawings and specifications before submission to the Town. The design at construction document review must be substantially the same as was approved by the Master Developer for the Preliminary Design Review. Reviews shall be complete within 15 days from of confirmation of receipt of Applicant's documents/drawings by the Master Developer. Approval by the Master Developer of the construction document(s) is required prior to construction start.
 - c. Any design changes desired by Applicant after Master Developer approval must be reviewed by the Master Developer before submission to the Town and/or commencement of construction.
 - d. Any deviation to the approved ordinances, zoning and stipulations will need to be approved through the standard procedures by the Town of Gilbert.
 - e. Approval will not be unreasonably withheld, conditioned, or delayed. The approval required of the Architectural Review Committee shall be in addition to, and not in lieu of, any approvals or permits that may be required under any federal, state or local law, statute, ordinance, rule or regulation.
 - f. Deviation from these guidelines is not allowed unless otherwise approved by the Master Developer in writing.
 - g. Subsequent approval shall meet DR16-03 approval and/or the intent of this Design Guidelines document for colors, materials and architectural styles.
2. The developer reserves the right to evaluate specific items not addressed by these criteria if those items impact the function or overall appearance of the project.
3. Local government rules and regulations shall govern if in conflict with these criteria.



II. Site Plan

- A. Master Site Plan The site plan for this project is set up as a mixed use development. The site is made up of commercial uses along Val Vista and Queen Creek allowing for pad and small multitenant users to benefit from the traffic and exposure of those arterials. Southeast of the commercial uses will be a proposed congregate care facility providing assisted, independent, and memory care. Further buffering the single family residents to the south and east are congregate care casitas serving as an option for residents who might not require living in the full congregate care facility but want to have some of the benefits.

The site plan will provide for contiguous pedestrian paths throughout the site connecting the neighborhood and school to the west into the project and through it. The site will have standard driveway spacing meeting Gilbert requirements to the surrounding streets and each entrance will include a decorative paving feature.

The site has a mix of straight and curvilinear drives throughout providing a more interesting experience for pedestrians and automobiles.

See attached overall development plan Exhibit A

- B. Internal Driveway Cross Sections: Driveway locations are determined by standard Gilbert required separation distances and existing adjacent access locations. The driveways will typically be crowned drives with landscaping or parking on either side. Public water and private sewer lines will generally be located within the loop roads.

See Exhibit B for Cross Section Detail.

C. Project Screening

1. Site Walls to be stucco with stone veneers pillars as shown in Exhibit C. Parking screen walls to be between 3 and 4 feet tall with the exact height per the direction of the city.
2. Areas to be screened include loading areas, parking, private open spaces, trash enclosures and ground mounted equipment.
3. Trash enclosure walls to be 6 feet tall unless required to be taller by the Town. They shall be screened to reasonably hide them from the public way and within the development.
4. Back of house or loading dock functions should be screened from public right-of ways.
5. See Exhibit C for Screening Details.

D. Parking Locations and Design Canopies

1. Large scale parking areas should be located away from the arterials streets. Parking, drive lanes and loading zones are not allowed within required landscape setbacks.



III. Landscape

- A. Project entry feature and details. The project will generally have two entrance types, major and minor. The major entrance will have slightly more landscaping and normally have a sign incorporated into the entrance. The minor entry drive will have slightly less landscaping, but will maintain a level of design to compliment the site and provide users with a sense of entry at the project.

See Exhibit D for major and minor entry features.

- B. Project entry drives cross section. The cross section at the drive entry will generally be the same between minor and major entrances with the only difference being the level of landscape materials.

See Exhibit E

- C. Project Plant Palette: The landscape design shall incorporate plants from the below Plant Palette.

PLANT PALETTE:

Trees:

Acacia salicina	Willow Acacia
Acacia smallii	Sweet Acacia
Caesalpinia mexicana	Mexican Bird of Paradise
Chitalpa 'Pink Dawn'	Pink Dawn Chitalpa
Dalbergia sissoo	Sissoo
Prosopis 'AZT' thornless	Thornless Mesquite
Quercus virginiana 'Heritage'	Heritage Live Oak
Sophora secundiflora	Silver Texas Mountain Laurel

Palm trees:

Phoenix dactylifera	Date Palm
Washintonia	Fan Palm

Shrubs:

Bougainvillea 'Torch Glow'	Torch Glow Bush Bougainvillea
Dodonaea viscosa 'Purpurea'	Purple Leaf Hopseed Bush
Eremophila maculate 'Valentine'	Valentine Bush
Euphorbia biglandulosa	Gopher Plant
Hibiscus	Pink Hibiscus
Justicia spicigera	Mexican Honeysuckle
Leucophyllum langmaniae 'Rio Bravo'	Rio Bravo Sage
Leucophyllum zygophyllum 'Cimarron'	Cimarron Sage
Ruellia penninsularis	Desert Ruellia
Russelia equisetiformis	Firecracker Plant
Tecoma stans	Sparklette
Tecoma 'Orange Jubilee'	Orange Jubilee

Accents:

Agave geminiflora	Century Plant
Dasyllirion longissimum	Toothless Desert Spoon
Dietes bicolor	Butterfly Iris
Hesperaloe	Hesperaloe



Pedilanthus macrocarpus
Yucca

Ladyslipper
Yucca

Groundcovers:

Chrysactinia Mexicana
Eremophila glabra 'Mingenew Gold'
Lantana

Damianitia
Emu
Lantana

- D. Hardscape and non-vegetative ground cover needs to be in substantial conformance with the attached site plan. Use of specialty pavement at all internal sidewalks and crossings (except as mandated by the ADA) per the approved pattern noted on the site plan.

Decomposed Granite

Express Gold ½" screened
Rip Rap – Express Gold 2"-4"

- E. Site amenities - See Exhibit F for approved site amenities.

IV. Building Architecture

A. Massing

1. The mass of the building should respect and respond to the surrounding buildings. Varied roof lines and footprints shall be utilized to break up the façade to respond to the adjacent residential neighbors.
2. Provide horizontal and vertical building breaks of at least 2 feet at reasonable intervals.

B. Scale and Context

3. Building(s) should be appropriate scale for the site and its surroundings. It should complement the other buildings. Consideration should be given to how the building relates in features to the surrounding buildings.

C. Exterior Façade

1. The primary veneer of exterior walls shall be a combination of stucco and stone veneer.
2. Building design should be four sided design.
3. A maximum of 6 inches of exposed foundation allowed.
4. Accent materials may be used such as architectural metal, brick, stained wood and may be used.
5. Highly reflective materials are not allowed.
6. The roof shall either be a flat roof, concealed by a parapet, or a low sloping clay or concrete tile.
7. Accessory structures, such as carports, may be a flat metal roof.
8. Retail entries to be pedestrian-scaled with an architecturally integrated cover.
9. Arcades, significant overhangs, awnings and other integral shade elements are highly encourage.
10. Building entrances should be prominent and easily identifiable and well lit.



- D. Color and Material Selection
 - 1. Colors and materials should be complementary to the existing buildings on site.
 - 2. See Exhibit G for a materials and color palette.
- E. Roof Mounted Equipment
 - 1. Mechanical Equipment shall be fully screened at the ground level. This includes utility meters and associated piping, trash compactors, transformers, ground installed equipment, service areas and grease interceptors.
 - 2. External roof access equipment is not allowed.
 - 3. Rooftop equipment shall be fully screened from adjacent properties and the public way by parapet walls or sloped roof elements. Roof mounted equipment shall not be visible.
 - 4. Roof mounted equipment is not allowed on pitched roofs.
- F. Carports
 - 1. See Exhibit J for Carport Design
- V. Site Lighting – Exhibit H
 - A. Parking Lot Lighting
 - 1. Pole lighting to be Spaulding Cimarron LED CL1S Dark Bronze– See attached cut sheet.
 - 2. Pole and mounting shall be 16'-0" square straight steel pole, 6" above finished graded concrete base with overall mounting height of 16'-6". Dark Bronze
 - 3. Any canopy lighting shall be Lithonia LED Canopy Light. Catalog number DSXSC LED.
 - 4. If flag pole or up lighting is required Lithonia LED round ground mounted flag pole light catalog number OLBF shall be used.
 - 5. Each site will be responsible for lighting the adjacent ½ of their internal loop roads.
 - B. Pedestrian Lighting
 - 1. Sufficient lighting for the project will be provided by the parking lot lighting.
 - C. Building Lighting – Provide building lighting that is complimentary to the building architecture. Examples of approved building light are found in Exhibit H. Other fixtures approved at the discretion of the town of Gilbert and Developer.
- VI. Signage – Refer to the Comprehensive Sign Plan (Not included in this document).



Exhibit A
Master Site Plan

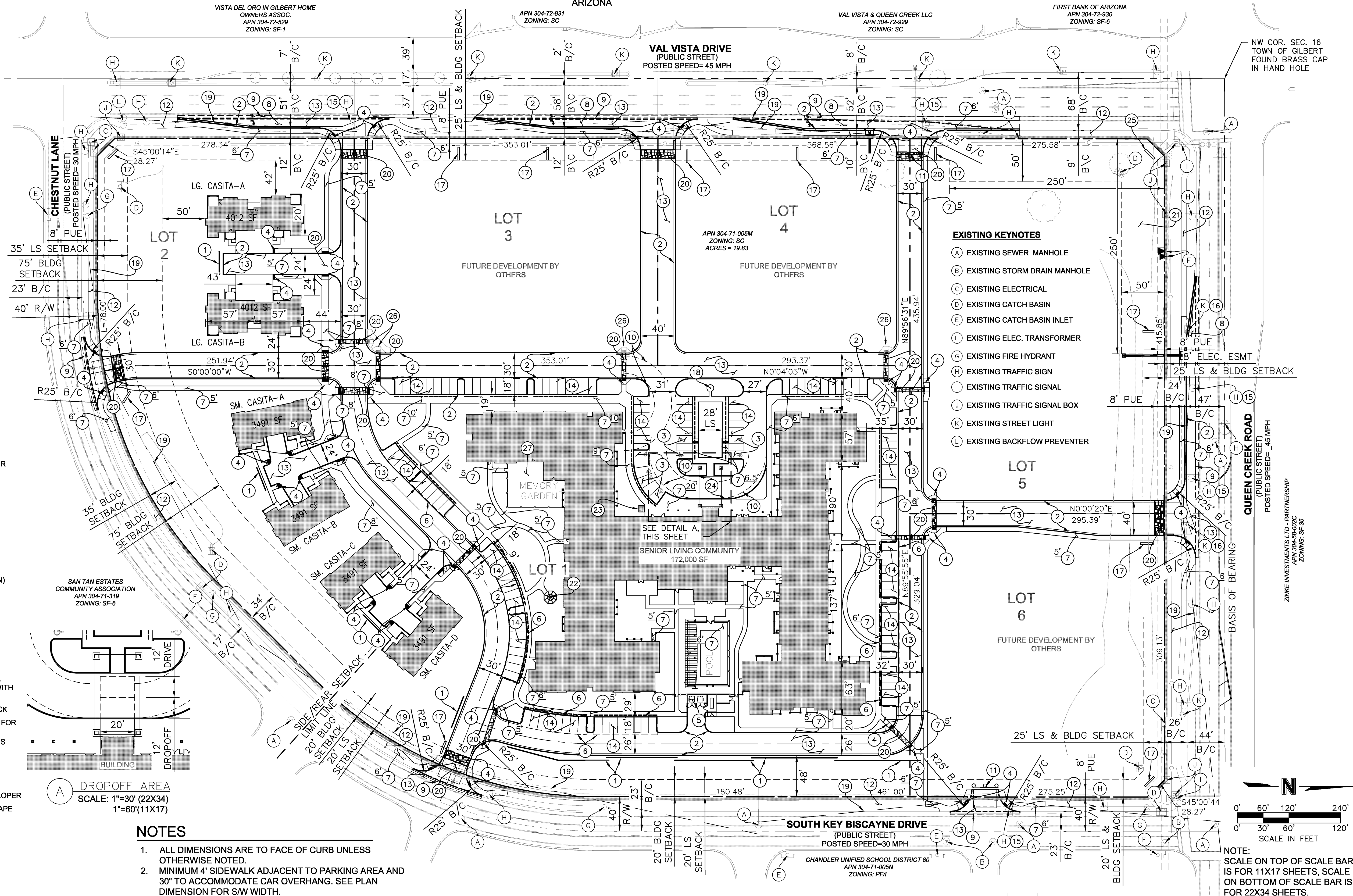


C01	PRELIMINARY SITE PLAN
C02	PRELIMINARY GRADING AND DRAINAGE PLAN
C03	PRELIMINARY GRADING DETAILS
C04	PRELIMINARY DETAILS
C05	PRELIMINARY WALL PLAN-1
C06	PRELIMINARY WALL PLAN-2
C07	PRELIMINARY WALL PLAN-3
C08	PRELIMINARY WALL PLAN-4
C09	PRELIMINARY UTILITY PLAN
C10	PRELIMINARY PHASING PLAN
SL1	PRELIMINARY SITE LIGHTING PHOTOMETRIC PLAN
SL2	PRELIMINARY ELECTRICAL SCHEDULES AND CUT SHEETS

- 1 PROP. SCREEN WALL
- 2 PROP. 6" CURB
- 3 PROP. ADA PARKING SPACES
- 4 PROP. CURB ACCESS RAMP
- 5 PROP. TRASH ENCLOSURE
- 6 PROP. COVERED PARKING
- 7 PROP. CONCRETE SIDEWALK (WIDTH PER PLAN)
- 8 PROP. DECEL LANE
- 9 REMOVE CURB, SAWCUT 2' PAVEMENT
- 10 PROP. FIRE LANE PATH
- 11 PROP. BARRICADE
- 12 EXIST. SIDEWALK TO REMAIN
- 13 PROP. PAVEMENT
- 14 PROP. PARKING (STALLS ARE 9' X 18' MIN) WITH 30" OVERHANG
- 15 RELOCATE EXIST. TRAFFIC SIGN
- 16 RELOCATE EXIST. LIGHT POLE
- 17 PROP. MONUMENT SIGN
- 18 PROP. FLAG POLE,
- 19 PROP. VISIBILITY TRIANGLE
- 20 PROP. DECO PAVING PER TOG STD. DTL. GIL-250, ASHLAR SLATE. COORDINATE WITH ARCHITECT FOR COLOR
- 21 50' X 250' ARTERIAL LANDSCAPE SETBACK
- 22 PROP. GAZEBO SEE LANDSCAPE PLANS FOR DETAILS.
- 23 PROP. BIKE RACK SEE LANDSCAPE PLANS FOR DETAILS
- 24 PROP. FLUSH RIBBON CURB
- 25 PROP. SHOPPING CENTER SIGN
- 26 FUTURE RAMP LOCATION BY LOT DEVELOPER
- 27 PROP. MEMORY GARDEN. SEE LANDSCAPE PLAN L04 FOR DETAILS.

SIGN
STREET LIGHT
COVERED PARKING
SUBJECT PROPERTY BOUNDARY
SECTION LINE
MONUMENT LINE
PUBLIC RIGHT-OF-WAY (R/W)
EASEMENT LINE
MINOR CONTOUR
MAJOR CONTOUR
30" PARKING OVERHANG

THE ENCLAVE AT GILBERT SENIOR LIVING
A PORTION OF THE NORTHWEST QUARTER OF SECTION 16, TOWNSHIP 2 SOUTH, RANGE 6 EAST, OF THE GILA AND
SALT RIVER BASE AND MERIDIAN,
TOWN OF GILBERT, MARICOPA COUNTY,
ARIZONA



NET SITE AREA	(863,662 SQ. FT.) 19.83 AC
GROSS SITE AREA	(1,085,855 SQ. FT.) 24.93 AC
ZONING	(SC WITH PAD OVERLAY)
CONGREGATE CARE LAND AREA	(261,487 SQ. FT.) 6.00 ACRES

<u>BUILDING:</u>	
TOTAL BLDG S.F. (FLOORS 1-3)	172,000 SQ. FT.
TOTAL CASITA S.F.	20,064 SQ. FT.
MAXIMUM S.F.	210,000 SQ. FT.
<u>PARKING REQUIREMENTS:</u>	
TOTAL REQUIRED:	
.5 PKG SPACE/UNIT (190)	95 SPACES
TOTAL PARKING PROVIDED:	127 SPACES

OWNER/DEVELOPER
SPECTRUM RETIREMENT
COMMUNITIES, LLC
200 SPRUCE STREET, SUITE 200
DENVER, CO 80230
PHONE: (303) 360-8812
FAX: (303) 360-8814
CONTACT: MIKE LONGFELLOW

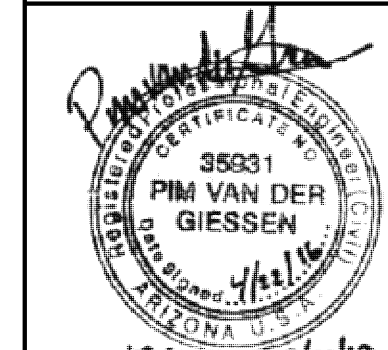
ENGINEER/LANDSCAPE
ARCHITECT
OLSSON ASSOCIATES
7250 NORTH 16TH STREET, SUITE 210
PHOENIX, ARIZONA 85020
PHONE: (602) 748-1000
FAX: (602) 748-1001
CONTACT: PIM VAN DER GIESSEN

ARCHITECT
GASTINGER WALKER
HARDEN+BEETRIPLETT BUCK
817 WYANDOTTE
KANSAS CITY, MO 64105
PHONE: (816) 569-0834
CONTACT: LAURA SCOTT

drawn by: TH
checked by: PV
approved by: PV
QA/QC by: PV
project no.: 014-2396
drawing no.: C01-SITE_142396.dwg
date: 04.22.16

SHEET
###

WOLSSON[®]
ASSOCIATES



OLSSON ASSOCIATES ASSUMES NO RESPONSIBILITY FOR EXISTING UTILITY LOCATIONS (HORIZONTAL OR VERTICAL). THE EXISTING UTILITIES SHOWN ON THIS DRAWING HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. IT IS HOWEVER THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES.

[illegible]

PRELIMINARY SITE PLAN	THE ENCLAVE AT GILBERT SENIOR LIVING SEC VAL VISTA ROAD AND QUEEN CREEK ROAD	GILBERT, ARIZONA	2016
--------------------------	---	------------------	------

drawn by: TH
checked by: PV
approved by: PV
QA/QC by: PV
project no.: 014-2396
drawing no.: C01-SITE_142396.dwg
date: 04.22.16

SHEET
###

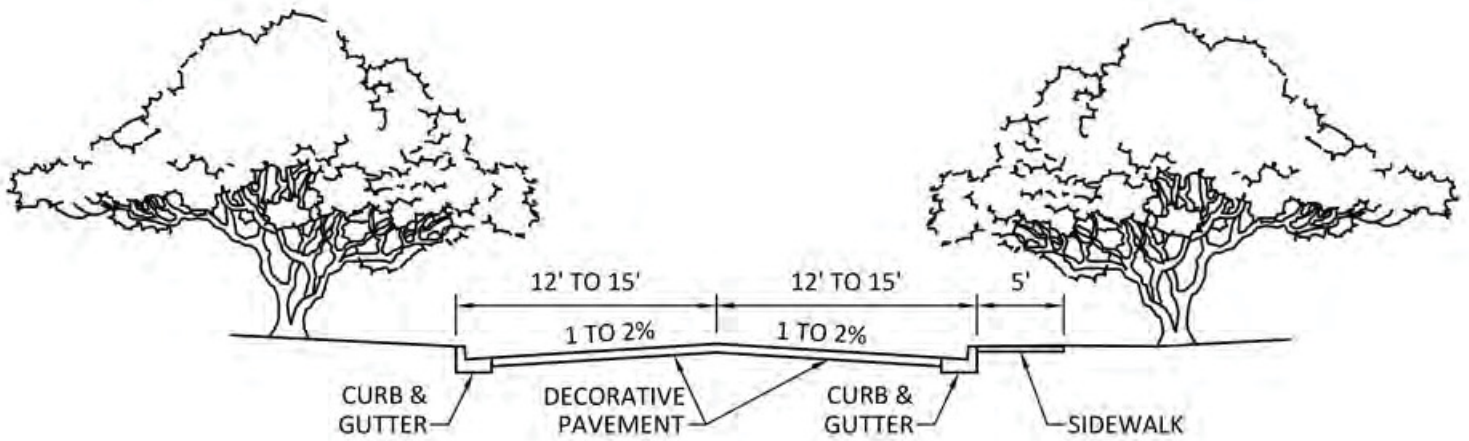
7250 North 16th Street, Suite 210
Phoenix, AZ 85020-5282
TEL 602.748.1000
FAX 602.748.1001
www.glenassociates.com

GILBERT ARIZONA

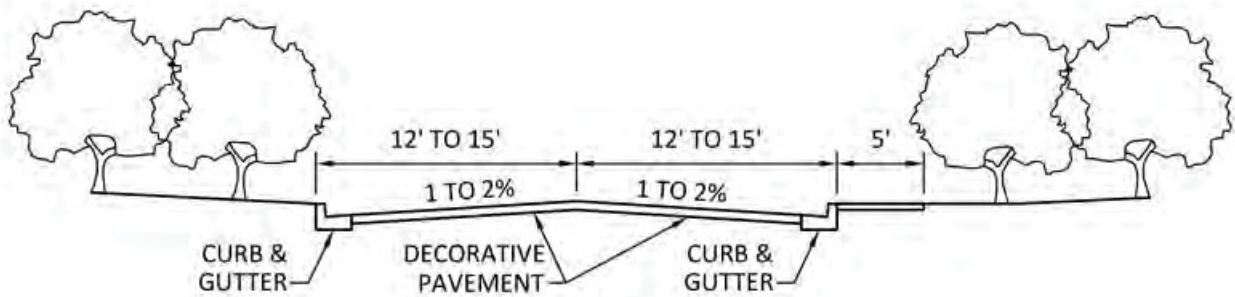
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 DATE: Apr 25, 2016 12:18pm
 DWG: C:\BASE_42396
 USER: scott
 TBL: C_P2_PBASE_42396
 C_P2_PBASE_42396
 C_P2_PUTIL_42396
 C_ARCH_42396
 C_P3_PBASE_42396
 C_P3_PUTIL_42396
 C_PBASE_OFFSITE_0142396

Exhibit B
Internal Driveway





MAJOR



MINOR

ENTRY DRIVES CROSS SECTION

SCALE: NTS



SPECTRUM
RETIREMENT COMMUNITIES, LLC

Exhibit 'B'

The Enclave at Gilbert Senior Living

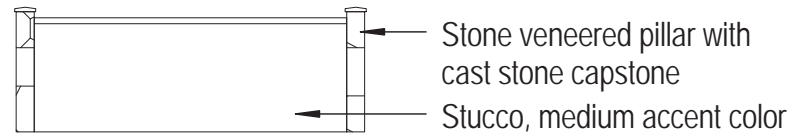
APRIL 25, 2016

OLSSON[®]
ASSOCIATES

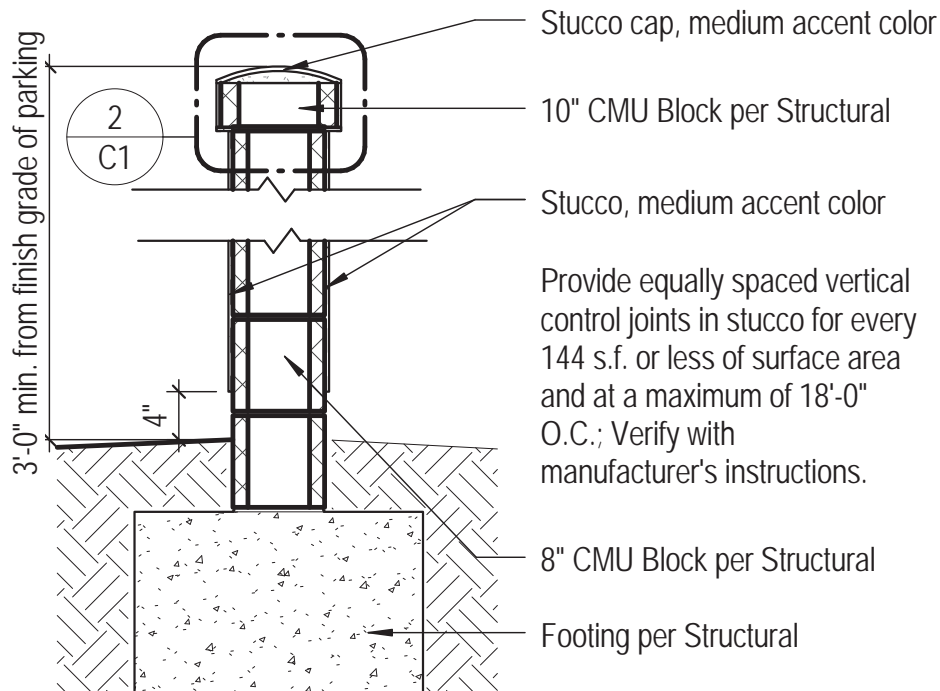
Gastinger Walker

Exhibit C
Screening



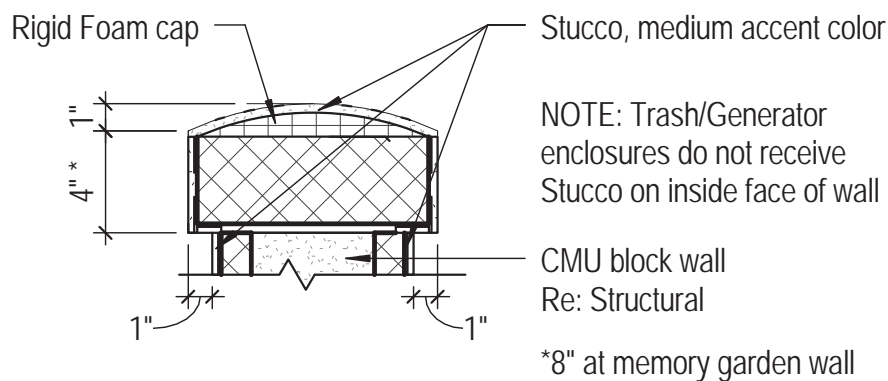


Site Screen Wall Typical Elevation



1	Elevation/Section at Screen Wall
---	----------------------------------

3/4" = 1'-0"



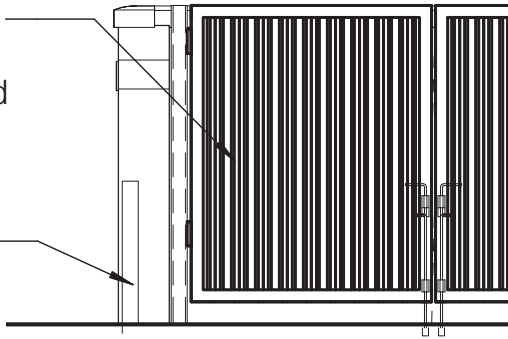
2	Detail at Wall Cap
---	--------------------

C1 1 1/2" = 1'-0"

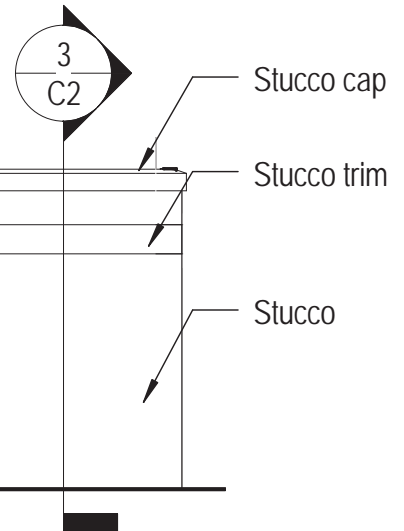


Metal gate, solid,
painted to match
fascia color, typical

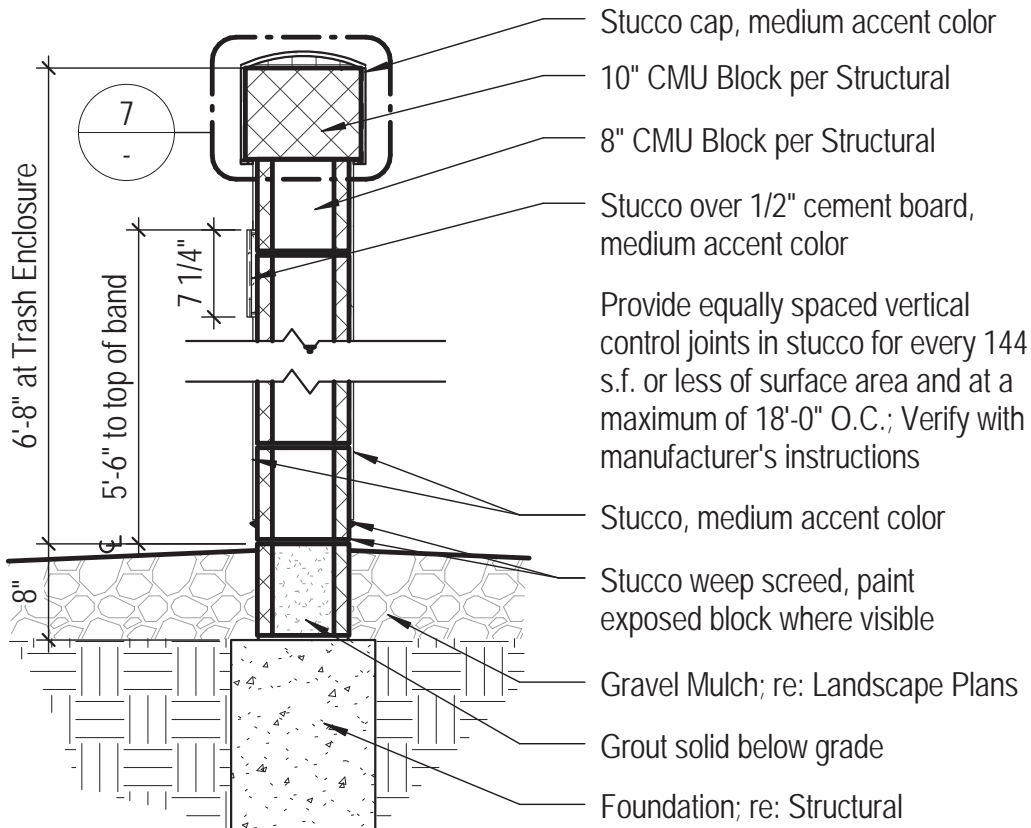
Steel bollard painted
to match medium
accent color,
embedded in
concrete



1	Elevation at Trash Walls
30.01	1/4" = 1'-0"



2	Elevation - Trash Enclosure
30.01	1/4" = 1'-0"

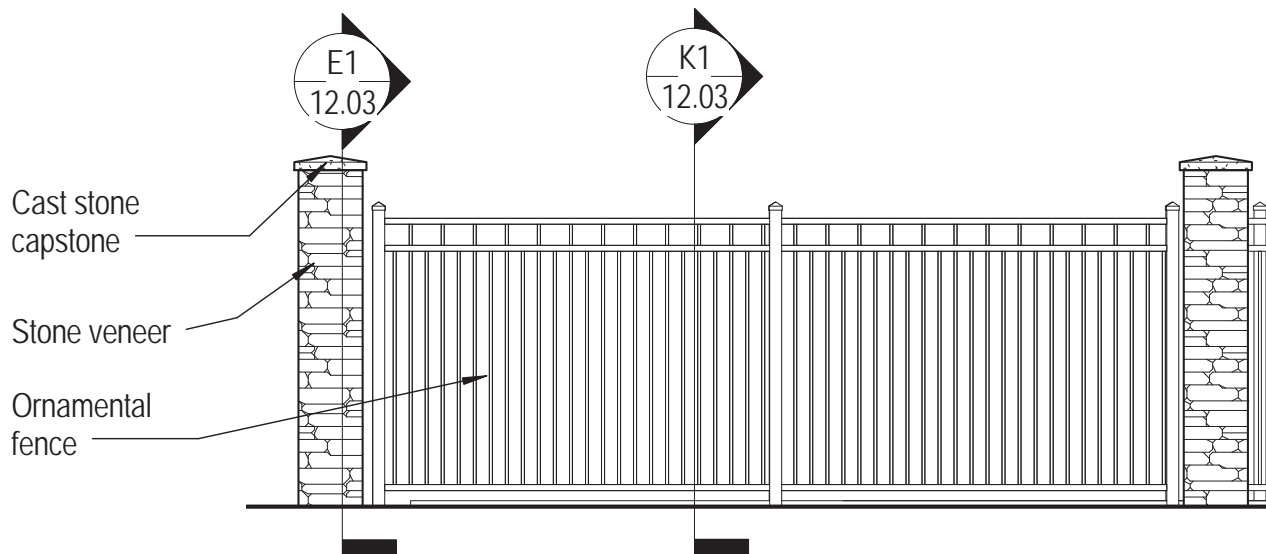


3	Section at Trash Wall
	3/4" = 1'-0"

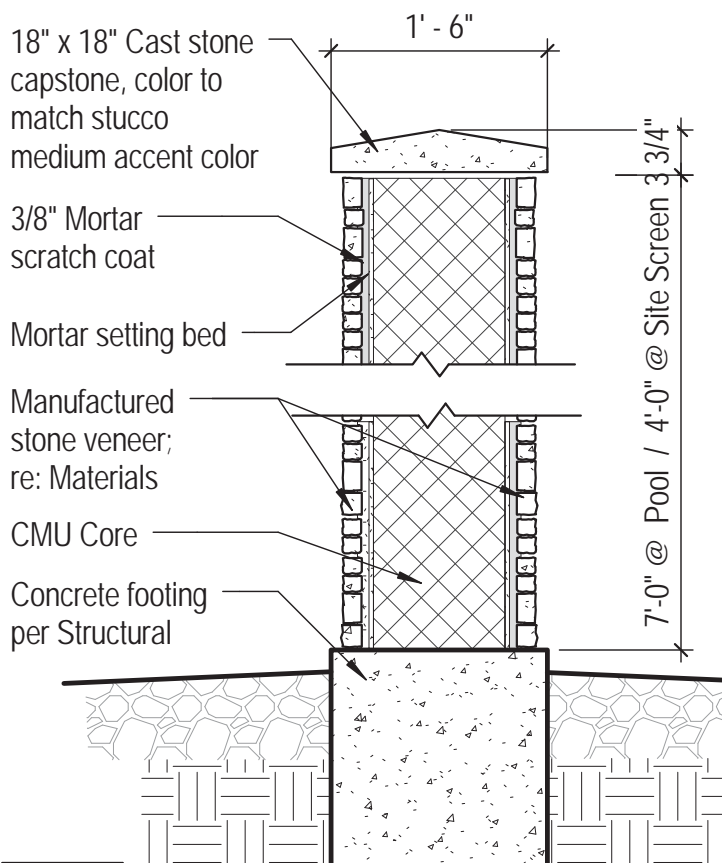


The Enclave at Gilbert Senior Living
Spectrum Retirement
Exhibit C2 Screening

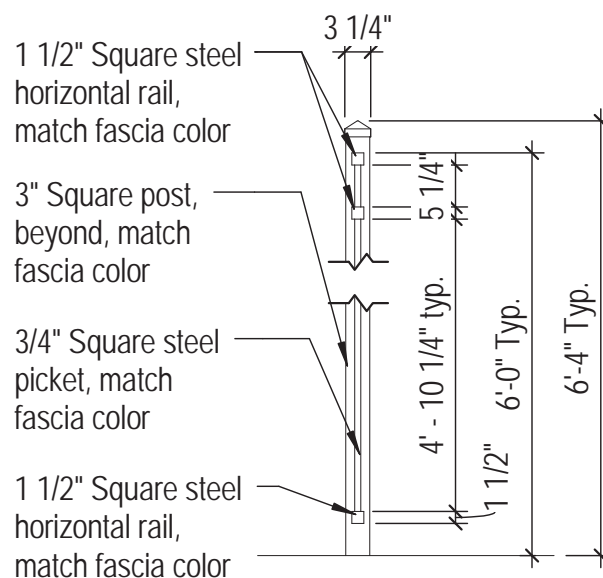
25 April 2016



1	Elevation - Fence
---	1/4" = 1'-0"



2	Section at Pillar Typical
	3/4" = 1'-0"



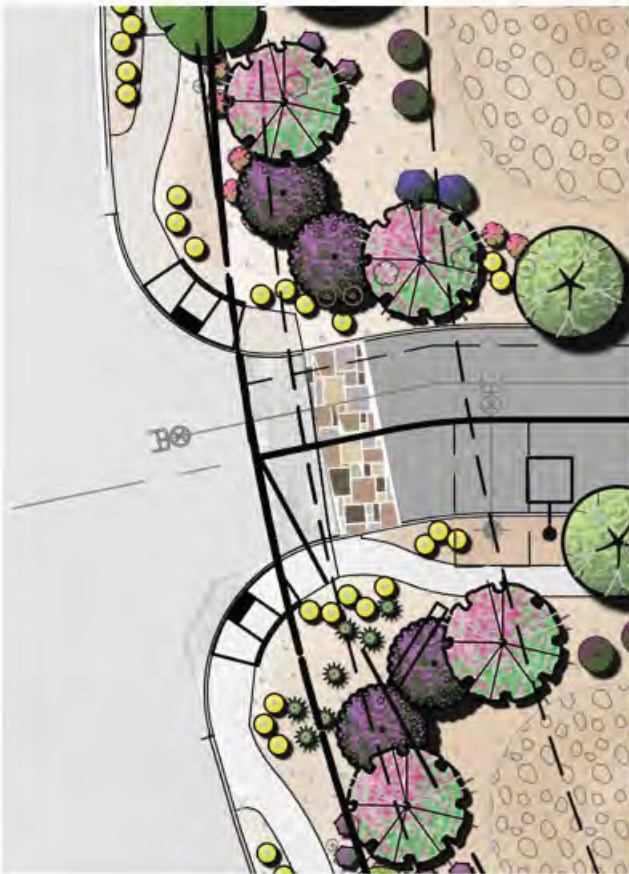
3	Section at Fence
	1/2" = 1'-0"



Exhibit D
Project Entry Features



PLANT LEGEND



TYPICAL MAJOR ENTRY FEATURE
SCALE: NTS



TYPICAL MINOR ENTRY FEATURE
SCALE: NTS

TREES

BOTANICAL NAME COMMON NAME



Acacia smallii
Sweet Acacia



Acacia salicina
Willow Acacia



Chitalpa 'Pink Dawn'
Pink Dawn chitalpa



Sophora secundiflora
Silver Tx Mountain Laurel

ACCENTS

BOTANICAL NAME COMMON NAME



Agave geminiflora
Century Plant



Dasylirion longissimum
Toothless Desert Spoon



Hesperaloe parviflora
'Brakelights' Hesperaloe



Yucca recurvifolia
Soft Leaf Yucca

GROUND COVERS

BOTANICAL NAME COMMON NAME



Chrysactinia mexicana
Damianita



Lantana montevidensis
Trailing Lantana



Lantana x 'New Gold'
New Gold Lantana



SPECTRUM
RETIREMENT COMMUNITIES, LLC

Exhibit 'D'

The Enclave at Gilbert Senior Living

APRIL 25, 2016

OLSSON
ASSOCIATES

Gastinger Walker &

Exhibit E
Entry Drives



Cross-Sections to be revised and provided to and
approved by the Planning Department prior to
construction documents

Exhibit F
Site Ammenities





6' Bench with Back
 Manufacturer: Keystone Ridge
 Model: Reading
 Color: Copper Vein



32 Gallon Trash Receptacle
 Manufacturer: Keystone Ridge
 Model: Reading
 Color: Copper Vein



Water Fountain - 3 Vase
 Manufacturer: Aqua Bella
 Model: Tuscany
 Color: Hand Selected by Owner Rep



Bike Rack
 Manufacturer: Keystone Ridge
 Model: Reading
 Color: Copper Vein

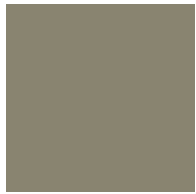


Planter Pots
 Manufacturer: Kornegay Design LLC
 Model: Mex Bold
 Color: Davis Integral Color 'Taupe'

Exhibit G
Color and Material



Color Palette (Sherwin Williams colors, typical)



SW6172
Hardware



SW7515
Homestead
Brown



SW6109
Hopsack



SW7731 San
Antonio Sage



SW6122
Camelback



SW7738
Cargo Pants



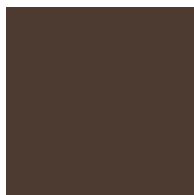
SW7052 Gray
Area



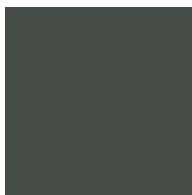
SW6108 Latte



SW7048
Urbane
Bronze



SW6076
Turkish
Coffee



SW7062
Rock Bottom



SW7745
Muddled Basil



SW6349
Pennywise



SW0012
Empire Gold



SW6243
Distance



SW7715 Pottery
Urn

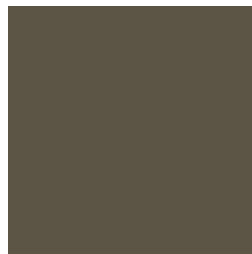


SW6921 Electric
Lime

Materials



Stone Veneer
- Boral, Cultured Stone, Southern Ledgestone,
Chardonnay
- Boral, Cultured Stone, Southern Ledgestone,
Echo Ridge



Metal Roof
- Kynar 500 Medium Bronze
- Kynar 500 Slate Gray



Anodized Aluminum -
clear

Exhibit H
Lighting



CIMARRON LED

Cat.#

Job

Type



Approvals

SPECIFICATIONS

Construction:

- Stylish vertically finned die-cast solid top housing for maximum heat dissipation; Stops collection of unsightly debris from gathering on top of the housing
- Rugged lower die-cast aluminum heat sink accelerates thermal management and optimizes PCB and optical performance
- Separate optical and electrical compartment for optimum component operation
- One piece die cut silicone gasket ensures weather proof seal around each individual LED for IP65 rating
- Backlight Control (BC) option available for 85% spill light reduction, doesn't change fixture appearance or EPA, recommended for Type III and Type IV distributions
- Stamped bezel provides mechanical compression to seal the optical assembly
- Complements the Hubbell Southwest series of outdoor fixtures
- Weight - 45.0 pounds, EPA - 1.3 ft²
- Suitable for applications requiring 3G testing prescribed by ANSI C136.31

Optics:

- Choice of 72 high brightness LED configurations with individual acrylic lenses specially designed for IES Type II, III, IV and V distributions
- Auto optics designed for front row 1A and interior rows 2A (see distribution under ordering and page 2)
- CCT: 3000K (80 CRI), 4000K (70 CRI), 5000K (70 CRI), and turtle friendly Amber LED options

Electrical:

- Universal input voltage 120-277 VAC, 50/60 Hz
- Integral step-down transformer for 347V & 480V
- Ambient operating temperature -40° C to 40° C
- Automatic thermal self-protection
- Drivers have greater than 90% power factor and less than 10% THD
- Optional continuous dimming to 10% or dual circuitry available

- LED drivers have output power over-voltage, over-current protection and short circuit protection with auto recovery
- 1050 mA driver available with 90L configuration for increased lumen output
- LED electrical assembly, including PR devices, consumes no power in the 'off' state
- Surge protection - 20KA; Turns fixture off at end of life; Includes LED for end of life indication (see surge suppressor page 4)

Controls:

- Drivers are 0-10V dimming standard. Photocell, occupancy sensor and wireless controls available for complete on/off and dimming control

Lumen maintenance:

- L90 at 60,000 hours (Projected per IESNA TM-21-11)

Installation:

- Two die-cast aluminum arm designs: The decorative arm offers a sleek upswept look while the straight arm follows the housing's contoured lines for continuity of style
- Fixture ships with arm installed for ease of installation and mounts to #2 drill pattern
- Wall bracket, mast arm fitter and pole accessories are also available allowing easy mounting for virtually any application

Finish:

- TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness

Warranty:

Five year limited warranty (for more information visit: <http://www.hubbelloutdoor.com/resources/warranty/>)

Listings:

- Listed to UL1598 and CSA C22.2#250.0-24 for wet locations
- Models meet DesignLights Consortium (DLC) qualifications, consult DLC website for more details: <http://www.designlights.org/QPL>
- IDA approved • IP65

PRODUCT IMAGE(S)



90 LED 3/4 VIEW



30 LED

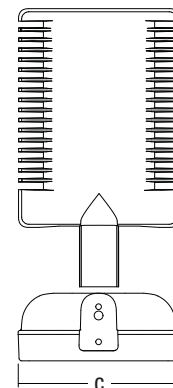
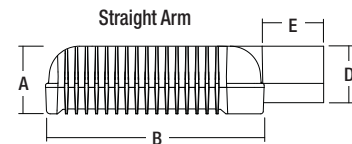
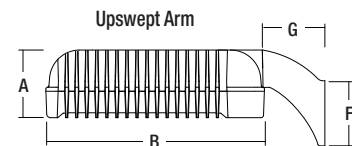


60 LED



90 LED

DIMENSIONS



A	B	C	D	E	F	G
6 3/4" 171mm	21 3/4" 552mm	16" 406mm	6 5/8" 168mm	6 5/16" 160mm	5 5/8" 143mm	6 1/8" 155mm

CERTIFICATIONS/LISTINGS



Spaulding Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-678-1000
Due to our continued efforts to improve our products, product specifications are subject to change without notice.

© 2015 SPAULDING LIGHTING, All Rights Reserved • For more information visit our website: www.spauldinglighting.com • Printed in USA CL1LED-SPEC 11/15



ORDERING INFORMATION SEE NEXT PAGE



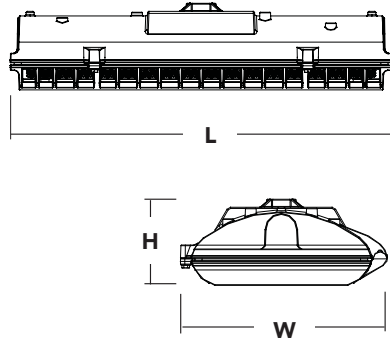
D-Series LED Surface Canopy



d^{series}

Specifications

Length:	17-3/4" (45.1 cm)
Width:	8-1/2" (21.6 cm)
Height:	3-7/16" (8.7 cm)
Weight (max):	16 lbs (7.3 kg)



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Introduction

The D-Series LED Surface Canopy luminaire is ideal for covered walkways or drive-thrus, semi-covered outdoor aisles, and walk-in coolers and freezers. Its five optical choices provide the design flexibility to potentially reduce luminaire counts while still meeting IES criteria, lowering overall energy consumption.

Its expected service life of over 100,000 hours (20 years of nighttime operation) combined with the available motion/ambient sensor offers an extremely low maintenance solution that yields quick payback.

Ordering Information

EXAMPLE: DSXSC LED 20C 700 40K T5M MVOLT SRM DWHXD

DSXSC LED						
Series	LEDs	Drive current	Color temperature	Distribution	Voltage	Mounting
DSXSC LED	10C 10 LEDs (one engine) ^{1,2} 20C 20 LEDs (two engines) 30C 30 LEDs (three engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted ³	T5E Type V, entryway ⁴ T5M Type V, medium T5W Type V, wide T5R Type V, rectangular ASY Asymmetric	MVOLT ⁵ 277 ⁵ 120 ⁵ 208 ⁵ 240 ⁵ 347 ⁶ 480 ⁶	Shipped included SRM Surface mount (12-inch length supply leads)

Options	Finish (required)
Shipped installed HS House-side shield (housing visor) ⁷ SF Single fuse (120, 277, 347V) ^{8,9} DF Double fuse (208, 240, 480V) ^{8,9} SPD Separate surge protection ¹⁰ CFMH Cover finish matches housing ¹¹ PIR Motion/ambient sensor for 8-15' mounting heights ¹² PIRH Motion/ambient sensor for 15-30' mounting heights ¹² PIR3FC3V Motion/ambient sensor for 8-15' mounting heights and for typical applications requiring daylight harvesting and Title 24 compliance ¹²	Shipped separately BDS Bird shroud ⁷ PIRH3FC3V Motion/ambient sensor for 15-30' mounting heights and typical applications requiring daylight harvesting and Title 24 compliance ¹² XAD XPoint™ Wireless enabled ¹³ XADN XPoint™ Wireless enabled for emergency circuit ¹³ XAD PIR XPoint™ Wireless enabled motion/ambient sensor for 8-15' mounting heights ^{13,14} XAD PIRH XPoint™ Wireless enabled motion/ambient sensor for 15-30' mounting heights ^{13,14} XADN PIR XPoint™ Wireless enabled motion/ambient sensor for emergency circuits for 8-15' mounting heights ^{13,14} XADN PIRH XPoint™ Wireless enabled motion/ambient sensor for emergency circuits for 15-30' mounting heights ^{13,14}
	DWHXD White DNAXD Natural aluminum DDBXD Dark bronze

Accessories

Ordered and shipped separately.

DSXSCHS U	House-side shield (1 per light engine)
DSXSCHDSSJ DWHXD U	Bird shroud for SRM on surface J-box only, white (specify finish)

NOTES

- Available with 700mA or 1000mA option only.
- Not available with 347 or 480V.
- AMBPC only available with 530mA or 700mA.
- DesignLights Consortium qualified.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- N/A with one light engine (10C). Only available with 700mA or 1000mA.
- Also available as a separate accessory; see Accessories information at left.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Not available with XAD.

- See the electrical section on page 3 for more details.
- Available with DNAXD or DDBXD only.
- PIR & PIR3FC3V specifies the Acuity Controls [SBOR 10 ODP](#) motion/ambient sensor, the PIRH & PIRH3FC3V specifies the Acuity Controls [SBOR 6 ODP](#) motion/ambient sensor.
- Dimming driver standard. Not available with 347V or 480V. Not available with fusing.
- XAD PIR specifies the Acuity Controls [XPA SBOR10](#) wireless controller, the XADN PIR specifies the Acuity Controls [XPA SBOR10](#) wireless controller, the XAD PIRH specifies the Acuity Controls [XPA SBOR6](#) wireless controller, and the XADN PIRH specifies the [XPA SBOR6](#) wireless controller.



FEATURES & SPECIFICATIONS

INTENDED USE

The OLB LED Bullet Floodlight is a long-lasting energy-efficient landscape flood light. Available with spot or flood optics making it ideal for many commercial and residential outdoor applications such lighting of landscapes, building details and flag poles.

CONSTRUCTION

Die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. The LED driver is mounted in the lower housing promoting a low operating temperature and long life. Housing is sealed against moisture and environmental contaminants (IP65).

Finish: Exterior parts are protected by a thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

OPTICS

Optics are engineered for superior field-to-beam ratios, uniformity and spacing. Available with 5H x 4V flood optics for illuminating larger objects or 2H x 2V spot optics for illuminating targets up to 50 feet away. Light engines are available in 3000K (80 CRI min.) or 5000K (66 CRI min.) configurations.

ELECTRICAL

MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).

Light engine consists of four (4) discrete LEDs directly mounted directly to the heat sink to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L82).

Driver is thermally isolated in base to promote long-life.

Operating temperature -30°C to 40°C.

INSTALLATION

Integral adjustable knuckle with 1/2-14 NPS threaded pipe facilitates quick and easy installation in a variety of mounting methods.

LISTINGS

UL Listed to U.S. and Canadian safety standards for wet locations within four feet of the ground.

Tested in accordance with IESNA LM-79 and LM-80 standards.

WARRANTY

5-year limited warranty. Complete warranty terms located at

www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Actual performance may differ as a result of end-user environment and application.

Note: Specifications subject to change without notice.

Catalog Number
Notes
Type

OLB

LED Bullet Flood Light



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

For shortest lead times, configure product using **bolded options**.

Example: OLB 8 30K DDB

Series	Light engine	Color temperature (CCT)	Voltage	Finish
OLBF 5x4 flood optics	8	30K 3000K	(blank) MVOLT	DDB Dark bronze
OLBS 2x2 spot optics		50K 5000K		

Recessed wall luminaire

Housing: Constructed of die cast and extruded aluminum with integral wiring compartment. Mounting tabs provided. Die castings are marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy.

Enclosure: One piece die cast aluminum faceplate, 1/8" thick. Clear tempered glass with translucent white ceramic coating. Faceplate is secured by two (2) socket head, stainless steel, captive screws threaded into stainless steel inserts in the housing casting. Continuous high temperature O-ring gasket for weather tight operation.

Electrical: 10.1 W LED luminaire, 11.3 total system watts, -30° C start temperature. Integral 120V through 277 V electronic LED driver, 0 -10V dimming. The LED and driver are mounted on a removable plate for easy replacement. Standard LED color temperature is 3000K (available in 4000K; add suffix K4). Provided with 1/2" NPT threaded conduit entries.

Note: Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA-US. For the most current technical data, please refer to www.bega-us.com.

Finish: All BEGA standard finishes are polyester powder coat with minimum 3 mil thickness. These luminaires are available in four standard BEGA colors: Black (BLK); White (WHT); Bronze (BRZ); Silver (SLV). To specify, add appropriate suffix to catalog number. Custom colors supplied on special order.

UL listed for US and Canadian Standards, suitable for wet locations and for installation within 3 feet of ground. Type non-IC. Protection class: IP64.

Luminaire Lumens: 96

Tested in accordance with LM-79-08

Type: V
BEGA Product #:
Project: Spectrum Projects
Voltage:
Color: Black
Options:
Modified:



Lamps		A	B	C
2192LED	ADA 9W LED	11¾	2 ½	4 ¼



6" ROUND LED DOWNLIGHT

L60

LED

CATALOG #:

TYPE:

PROJECT:

Spectrum Projects

NOTES:

EXAMPLE

L60 - L15/840 - CS - OPTIONS - DIM - 120

SERIES

LUMEN
PACKAGE

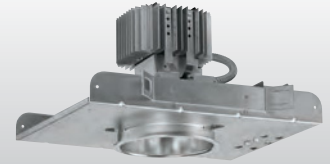
CRI &
CCT

REFLECTOR
FINISH

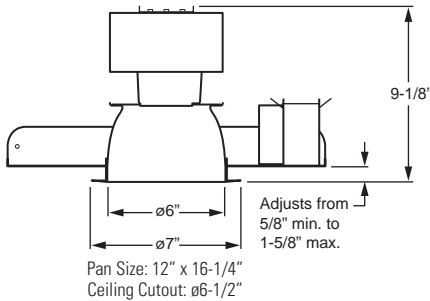
OPTIONS

DRIVER

VOLTAGE



CROSS SECTION



ORDERING INFORMATION

SERIES

L60 6" Round LED Downlight

LED PACKAGE

Example: L15/835			
LUMEN PACKAGE	NOMINAL LUMENS	MINIMUM CRI & CCT	AVERAGE SYSTEM WATTAGE
L11	1,100	827 = 80 CRI, 2700K	17
L15	1,500	830 = 80 CRI, 3000K	20
L20	2,000	835 = 80 CRI, 3500K	27
L30	3,000	840 = 80 CRI, 4000K	39

Nominal lumens based on 3500K CCT, actual lumens may vary.

REFLECTOR FINISH (Must specify)

CS	Clear semi-specular (standard)
CG	Champagne gold
GD	Gold
PW	Pewter
SG	Satin-glow
SPC	Clear specular
STR	Straw
WH	Painted white reflector, textured (cannot be used with AC/CAL or MB/CAL)
WT	Wheat

OPTIONS

EM/7W	7-watt emergency driver (maximum 500 lumens module output in EM mode)
MWT	Matte white trim
AC/CAL	Accent cone with clear acrylic lens
MB/CAL	Micro-baffle with clear acrylic lens
LAD	Acrylic luminous disk (CS reflector only)
LADO	Acrylic luminous disk open (CS reflector only)
LAR	Acrylic luminous ring (CS reflector only)

DRIVER

Additional dimming drivers available, see Information Section .	
DRV	Driver prewired for non-dimming applications
DIM	Driver prewired for 0-10V low voltage dimming applications

VOLTAGE (Must specify)

120	120V
277	277V

FEATURES

- ▶ Rated for 50,000 hours at 70% lumen maintenance (L70).
- ▶ 1100-, 1500-, 2000-, or 3000-lumen module.
- ▶ 2700K, 3000K, 3500K, or 4000K color temperatures.
- ▶ LED module and driver accessible from below ceiling plane for ease of maintenance.
- ▶ 0-10V dimming down to 10% light output available.
- ▶ Optional system-integrated emergency LED driver available.
- ▶ Optional wet location under covered ceiling available when specified with AC/CAL or MB/CAL option.
- ▶ Finned, extruded aluminum, passive heat sink dissipates heat for superior thermal management.
- ▶ Integral pan throat field-adjusts to accommodate ceilings up to 1-5/8" thick.
- ▶ Self-flanged aluminum reflector offers maximum optical performance and provides crisp, clean installation without unsightly light leaks.
- ▶ Adjustable hanger brackets with bar hangers standard.
- ▶ Sturdy one-piece pan construction.
- ▶ This fixture is proudly made in the USA.



DESCRIPTION

The Entri LED luminaire features a classic and stylish design with the added benefits of solid state lighting technology, offering outstanding uniformity and energy savings. Using Eaton's proprietary LED LightBAR™ technology and AccuLED Optics™ system, the Entri LED luminaire offers designers vast versatility in system design, function and performance. Use Entri LED for wall mount architectural lighting applications and egress lighting requirements. UL/cUL listed for use in wet locations.

SPECIFICATION FEATURES

Construction

HOUSING: Heavy wall, one-piece, die-cast aluminum construction for precise tolerance control and repeatability in manufacturing. Integral extruded aluminum heat sink provides superior thermal heat transfer in +40°C ambient environments. **FACEPLATE / DOOR:** One-piece, die-cast aluminum construction. Captive, side hinged faceplate swings open via release of one flush mount die-cast aluminum latch on housing side panel. **GASKET:** One-piece molded silicone gasket mates perfectly between the door and housing for repeatable seal. **LENS:** Uplight lens is impact-resistant, 5/32" thick tempered frosted glass sealed to housing with continuous bead silicone gasket. Downlight lens is LED board integrated acrylic over-optics, each individually sealed for IP66 rating. **HARDWARE:** Stainless steel mounting screws and latch hardware allow access to electrical components for installation and servicing.

Optics

Choice of six patented, high-efficiency AccuLED Optic distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optic technology creates consistent distributions with the scalability to meet customized application requirements. Offered Standard in

4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K CCT, 5000K CCT and 5700K CCT.

Electrical

LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficacy, and prolonged life. Standard drivers feature electronic universal voltage (120-277V 50/60Hz), 347V 60Hz or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Greater than 0.9 power factor, less than 20% harmonic distortion, and is suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 10kV/10kA common – and differential – mode surge protection. LightBARs feature and IP66 enclosure rating and maintain greater than 95% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for -20°C ambient environments, occupancy sensor and dimming options available.

Mounting

JUNCTION BOX: Standard with zinc-plated, quick-mount junction box plate that mounts directly to 4" J-Box. LightBARs mount facing downward. Fixture slides over mounting plate and is secured with two stainless steel fasteners. Mounting plate features a one-piece EPDM gasket on back side of plate to firmly seal fixture to

wall surface, forbidding entry of moisture and particulates. Optional mounting arrangements utilize a die-cast mounting adaptor box to allow for LED battery pack, surface conduit and through branch wiring. The Entri LED luminaire is approved for mounting on combustible surfaces.

Finish

Housing is finished in five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. LightBAR cover plates are standard white and may be specified to match finish of luminaire housing. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult Outdoor Architectural Colors brochure for a complete selection.

Warranty

Five-year warranty.



ENC/ENT/ENV ENTRI LED

1 - 2 LightBARs
Solid State LED

ARCHITECTURAL WALL
LUMINAIRE



CERTIFICATION DATA

UL/cUL Listed
ISO 9001
IP66 LightBARs
LM79 / LM80 Compliant
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz,
480V/60Hz
-30°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

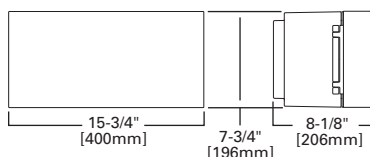
Approximate Net Weight:
16 lbs. (7.3 kgs.)



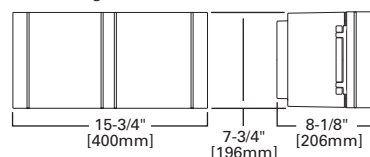
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DIMENSIONS

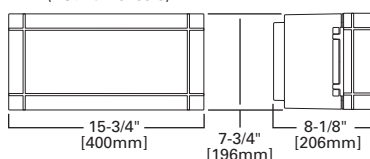
ENC (Round Clean)



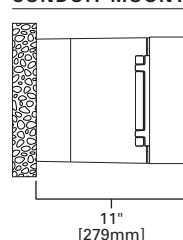
ENT (Triangle Reveals)



ENV (Round Reveals)



CONDUIT MOUNT / BATTERY BACK BOX



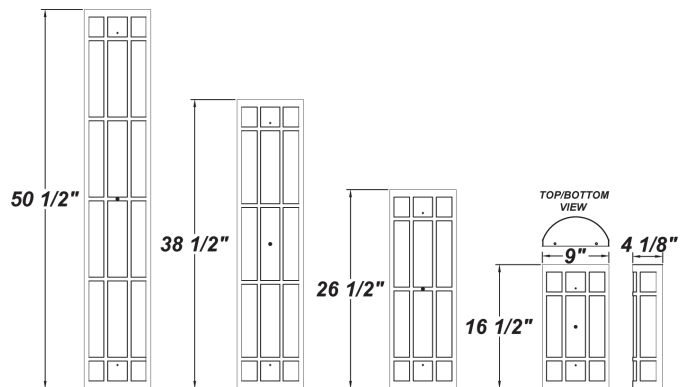
GUARDIAN W VHT LED



PROJECT :
TYPE :
ORDERING # :
COMMENTS :

FEATURES

- Extruded Aluminum Housing w/ Matte Silver Polyester Powder Coat Finish
- Aluminum Fascia w/ Matte Silver Polyester Powder Coat Finish
- Die Cast Aluminum End Caps w/ Matte Silver Polyester Powder Coat Finish
- High Impact White Acrylic Diffuser (50% DR Acrylic)
- Steel Reflector w/ Hi-Reflectance White Powder Coat Finish
- Recessed Steel Screws
- Fixture Mounts Directly to Surface w/ Two Wall Anchors (Not Included)
- Over-Voltage, Over-Current, and Short-Circuit Protection w/ Auto Recovery
- 120V - 277V
- Surge Protector
- CSA Listed Wet Location For Wall Mount Only
- Motion Sensor



ORDERING INFORMATION

Example : (GRDW24-VHT - L46.5 - ZE1100 - WAL - SW - 40K)

Matte Silver is Standard Finish

PRODUCT	SOURCE/WATTAGE	VOLTAGE	DRIVER OPTIONS	DIFFUSER	FINISH	OPTIONS
Guardian W VHT 16 1/2" (GRDW-VHT)	L33.6 - 33.6W LED Strip(s) L18.0 - 18W LED Strip(s)	120 - 277V (L18.0 is Dimmable From 120 - 230V)	12CV - 12V Constant Voltage Non-Dimming Electronic Driver (For L33.6) TE500 - 500mA ELV Low Voltage 2-Wire Electronic Driver (For L18.0) LE500 - 500mA Line Voltage 2-Wire Dimming Driver (For L18.0) (120V Only)	WAL - White Acrylic Lens	SM - Matte Silver TB - Textured Black AC - Antique Copper AS - Antique Silver BT - Bronze Mist CP - Copper KC - Kenworth Chrome SN - Sand SW - Swedish Steel BZ - Textured Bronze TW - Textured White	30K - 3000K Color Temp. 35K - 3500K Color Temp. (L18.0 Only) 40K - 4000K Color Temp. 51K - 5100K Color Temp. (L33.6 Only) ADA - ADA Compliant Fascia OEL - Single End Window (Only Available w/ADA Option) TEL - Twin End Windows (Both Ends) (Only Available w/ADA Option)
Guardian W VHT 2' (GRDW24-VHT)	L36.5 - 36.5W LED Strip(s) L46.5 - 46.5W LED Strip(s) L49.5 - 49.5W LED Strip(s) L70 life time for 50,000hr	(120 - 277V Dimmable For 0 - 10V)	ZE1050 - 1050mA 4-Wire Dimming Driver (For L36.5) (Dimmable 0 - 10V) ZE1100 - 1100mA 4-Wire Dimming Driver (For L46.5) (Dimmable 0 - 10V) ZE1150 - 1150mA 4-Wire Dimming Driver (For L49.5) (Dimmable 0 - 10V)		RAL Colors or Custom Match - Consult Factory	

REPLACEMENT PARTS

PART NO.

16" Acrylic LED Lens Assembly	38200
2' Acrylic LED Lens Assembly	38216

NOTES

We reserve the right to revise the design or components of any product due to parts availability or change in UL standards, without assuming any obligation or liability to modify any products previously manufactured, and without notice.

ARRA 2009



BUY AMERICA ACT



Omnience™



CP3985-BRNZ



Oldenburg Tech Center
 Kingsford, Michigan
 Architect: Epstein Uhen Architects
 Lighting Designer: Benya Lighting Design
 Photo by: Boldt Photography

C O M P A N I O N S	Infinity Performance  Pendant Page 316	Omnience  Ceiling Page 204	Crescent  Wall Page 144

Features

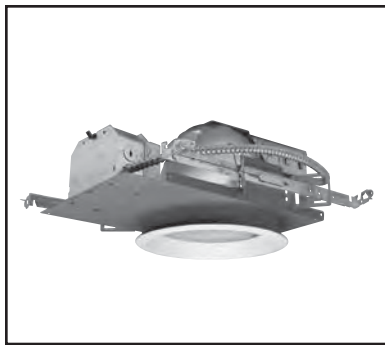
- 5 year product warranty
- Rolled extruded aluminum housing with upper perforations to provide a luminous glow to reduce ceiling contrast
- Oven cured no VOC acrylic powder coat
- 1/8" thick Lumieo™ white acrylic diffuser with matte finish, 55% transmission efficiency, UV stable
- Optional specialty diffuser materials available, including Vara Kamin's Impressions of Light® images, which are replicated from Kamin's original works of art
- Optional 1/8" thick impact resistant polycarbonate clear lens cover (CP3970 & CP3975 only)
- Easy tool-less relamping
- LED or fluorescent source
- High power factor electronic ballast
- Mounts through 4" octagonal by 2-1/8" deep electrical junction box (by others) to structural blocking (by others) with provided hardware for ceiling slopes up to 45 degrees from horizontal
- ETL listed to UL standards (US and Canada) for indoor damp locations. Not recommended for exterior applications

LED Features

- White source (3000K, 3500K, 4000K), 0-10V dimmable
- Modular design allowing replacement of the LED source and power supply
- Constant current LED technology to protect LEDs from experiencing "over current" conditions that can cause overheating and premature failure
- Thermally managed within manufacturer specifications to promote long LED life
- No ultraviolet or infrared, alleviating potential damage to art, fabric and materials
- Mercury free LED source reduces impact to waste stream

Suggested Variations

- Increase or decrease housing diameter
- Custom color or material
- Specialty acrylic diffusers
- Sloped ceiling adaptor for ceiling slopes greater than 45 degrees
- Alternate source
- Weather tether to secure fixture from wind or excess movement. Safety requirement for all outdoor covered applications



8" Horizontal Compact Fluorescent Lensed Downlights **LF8CFH**



13W, 18W or 26W Quad Tube
4-pin Lamps
120V, 208V, 240V, 277V, or 347V

DATE: TYPE: H2

FIRM NAME:

PROJECT: Spectrum Projects

LiteFrame®

Ceiling Cutout: 8-1/4"
Maximum Ceiling Thickness: 1-1/4"
For conversion to millimeters,
multiply inches by 25.4
Not to Scale

APPLICATIONS:

The LF8CFH series offers horizontally lamped compact fluorescent lensed downlight fixtures. This luminaire is ideal for a wide variety of low to medium height ceiling applications including commercial, retail, hospitality, and design-build.

HOUSING:

One-piece 22-gauge galvanized steel platform. Prewired J-box with snap-on cover for easy access. Vented at lamp tip and socket for maximum light output. Same housing accommodates downlight, lensed downlight, and wall wash downlight reflectors.

REFLECTOR:

High purity aluminum, Alzak, iridescence suppressed, semi-diffuse reflector. Self-trim standard. White painted splay standard.

LAMPS:

Use two (2), 13W (G24Q-1 base), 18W (G24Q-2 base), or 26W (G24Q-3 base) quad tube 4-pin compact fluorescent lamps. Lamps furnished by others or as option below.

BALLAST:

One (1) Class 'P' 120V-277V HPF compact fluorescent electronic ballast for long life and quiet operation. All ballast options are equipped with end of life protection. Contact technical support for 347V. Accessible from below ceiling.

SOCKET:

Two (2) injection molded sockets (vented).

INSTALLATION:

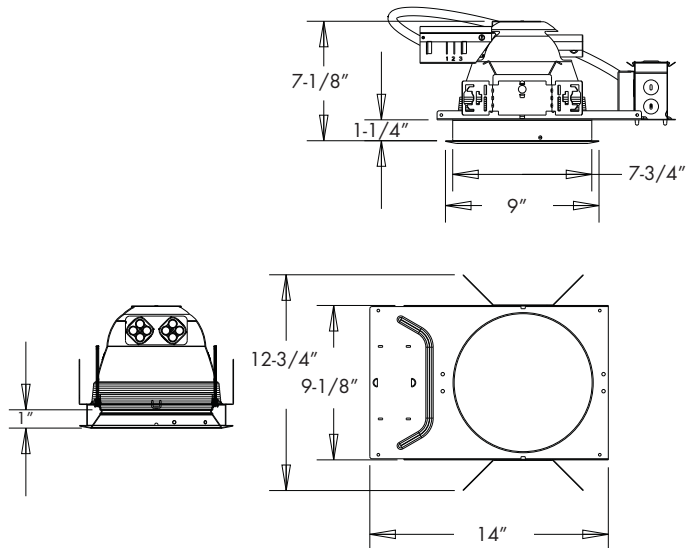
Universal adjustable mounting brackets accept 1/2" EMT conduit or 1 1/2" or 3/4" lathing channel (by others) or Prescolite 24" bar hangers (B24 or B6). Light commercial bar hangers included.

LABELS:

UL listed or UL/CSA listed with CDN option for wet locations with lensed trims. UL, CUL listed for damp locations for EMR housing option. Approved for through wiring (4 in, 4 out). Non-IC type.

LAMP INCLUDED OPTION:

Specify lamp type Q4 (Quad 4-pin) and temperature as shown below.



Order housing, reflector and accessories separately.

CATALOG NUMBER:

EXAMPLE: LF8CFH226EB 8CFHCL LP13Q427K

HOUSING	WATTAGE	BALLAST	VOLTAGE	HOUSING OPTIONS	REFLECTOR	SPRAY COLOR	LENS	TRIM OPTIONS	ACCESSORIES
<input type="checkbox"/> LF8CFH	<input type="checkbox"/> 213 (2) 13W Quad <input type="checkbox"/> 218 (2) 18W Quad <input type="checkbox"/> 226 (2) 26W Quad	<input type="checkbox"/> EB Multi-volt	<input type="checkbox"/> Blank 120V-277V <input type="checkbox"/> CDN Canadian Electrical code compliant ballast disconnect <input type="checkbox"/> CDN 347V⁶ Canadian Electrical code compliant ballast disconnect	<input type="checkbox"/> CP³ Chicago Plenum <input type="checkbox"/> FSDFA Fuse kit installed at factory <input type="checkbox"/> RIF1^{2,3} Radio interference filter (single circuit) <input type="checkbox"/> EMR^{2,3,4} Emergency battery pack with remote test switch and indicator light <input type="checkbox"/> DM Electronic Analog Dimming Ballast to 3%, 4-wire, 0-10V (120-277V) <input type="checkbox"/> SYL⁵ Osram Sylvania Ballast (available only for standard EB option) <input type="checkbox"/> ECDM Lutron EcoSystem or 3-wire line voltage dimming ballast (120V-277V). Dims to 5%. <input type="checkbox"/> 7DM Advance Mark 7™ Dimming Ballast to 5%, 4-wire, 0-10V, analog (120V thru 277V)(specify wattage) <input type="checkbox"/> XDM¹ Advance Mark 10™ Dimming Ballast to 5%, 2-wire line voltage (specify supply voltage/wattage) <input type="checkbox"/> SMT Philips Advance SmartMate® ballast	<input type="checkbox"/> 8CFH 8" Alzak Semi-Diffuse	<input type="checkbox"/> Blank Painted White <input type="checkbox"/> CR Clear Alzak <input type="checkbox"/> CG Champagne Gold Alzak <input type="checkbox"/> PW Pewter Alzak <input type="checkbox"/> WE Wheat Alzak <input type="checkbox"/> LW Light Wheat Alzak	<input type="checkbox"/> FL Regressed Fresnel <input type="checkbox"/> PL Regressed Prismatic <input type="checkbox"/> DL Regressed Diffuse <input type="checkbox"/> CL Regressed Clear	<input type="checkbox"/> WT White flange (Alzak only) <input type="checkbox"/> TRG Trim Ring Gasket (Factory installed)	<input type="checkbox"/> B24 Set of (2) 24" bar hangers for T-bar ceilings <input type="checkbox"/> B6 Set of (2) bar hangers for ceiling joists up to 24" centers <input type="checkbox"/> FSDFI Fuse kit for field installation <input type="checkbox"/> SCA8D Sloped ceiling adapter (see note on back page)
LAMP ACCESSORIES									
<input type="checkbox"/> LP -wattage= 13, 18, 26 -type= Q4 (Quad 4-pin) -temp= 27K, 30K, 35K, 41K (Kelvin) *Example: LP13Q427K Requires two lamps.									

¹Not available for 13W Quad lamps

²RIF1 and EMR options not offered in combination

³CP not offered in combination with RIF1 or EMR

⁴UL, CUL listed for damp locations

⁵Available for Osram Sylvania Quick 60+® Limited Warranty when used with Osram lamp(s). See www.prescolite.com for details.

⁶Dimming option not available for 347V



A Division of Hubbell Lighting, Inc.

In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.

Web: www.prescolite.com • Tech Support: (888) 777-4832

LFR-CFL-014

Job Name:
Job Type:
Quantity:

Family:	Kirkham™
Product Category:	WALL MOUNT
Item#:	8101-A138
Finish:	ASPEN BRONZE
Certification:	3057374



Lamping

Light Type:	A-15,MED
Socket Type:	E26,MED
Max Wattage:	60
Bulbs Included:	N
Dimmable:	Y
CRI:	N/A
Color Temp:	N/A
Initial Lumens:	N/A
Delivered Lumens:	N/A
Rated Life Hours:	N/A
Photo Cell Included:	N/A
Ballast:	N/A

Shipping

Carton Weight:	2.2
Carton Width:	11
Carton Height:	8
Carton Length:	13
Carton Cubic Feet:	0.662
Master Pack:	6
Master Pack Weight:	15.4
Master Pack Width:	13.5
Master Pack Height:	22.75
Master Pack Length:	25.25
Master Cubic Feet:	4.488
*Multi-Pack:	1
Small Package Shippable:	Y

*For additional information, please contact Customer Care: 1-800-221-7977.

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Measurements

Width:	8.5
Height:	6
Length:	N/A
Min Overall Height:	N/A
Max Overall Height:	N/A
Height Adjustable:	N
Extension:	10.5
Net Weight:	0.90
Back Plate/Canopy Width:	5.13
Back Plate/Canopy Height:	N/A
Canopy Length:	N/A
Center to Top of Fixture:	3.25
Center to Bottom of Fixture:	2.75
Slope:	N
Chain Length:	N/A
Wire Length:	7

Shade

*Shade Description:	N/A
*Shade Material:	N/A
*Shade Quantity:	N/A
*Shade Number:	N/A
*Shade Width:	N/A
*Shade Height:	N/A
*Shade Length:	N/A

Miscellaneous

Safety Cable Included:	N
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Exhibit J
Carports



